

Advanced Application of the Transect in Form-Based Coding

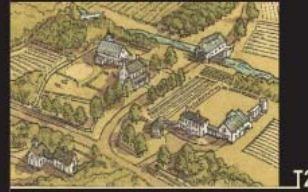
Geoff Dyer, Placemakers LLC

CNU XVI 4/5/2008

SMART CODE
v 9.0



T1



T2



T3



T4



T5



T6

TABLE 7: Private Frontages. The Private Frontage is the Layer between the building and the Frontage Lot lines.

	SECTION	PLAN
	LOT PRIVATE FRONTAGE ← R.O.W. PUBLIC FRONTAGE	LOT PRIVATE FRONTAGE ← R.O.W. PUBLIC FRONTAGE
<p>a. Common Yard: a planted Frontage wherein the Facade is set back substantially from the Frontage Line. The front yard created remains unfenced and is visually continuous with adjacent yards, supporting a common landscape. The deep Setback provides a buffer from the higher speed Thoroughfares.</p>		
<p>b. Porch & Fence: a planted Frontage wherein the Facade is set back from the Frontage Line with an attached porch permitted to Encroach. A fence at the Frontage Line maintains street spatial definition. Porches shall be no less than 8 feet deep.</p>		
<p>c. Terrace or Lightwell: a Frontage wherein the Facade is set back from the Frontage line by an elevated terrace or a sunken Lightwell. This type buffers Residential use from urban Sidewalks and removes the private yard from public Encroachment. Terraces are suitable for conversion to outdoor cafes. Syn: Dooryard.</p>		
<p>d. Forecourt: a Frontage wherein a portion of the Facade is close to the Frontage Line and the central portion is set back. The Forecourt created is suitable for vehicular drop-offs. This type should be allocated in conjunction with other Frontage types. Large trees within the Forecourts may overhang the Sidewalks.</p>		
<p>e. Stoop: a Frontage wherein the Facade is aligned close to the Frontage Line with the first Story elevated from the Sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing. This type is recommended for ground-floor Residential use.</p>		
<p>f. Shopfront: a Frontage wherein the Facade is aligned close to the Frontage Line with the building entrance at Sidewalk grade. This type is conventional for Retail use. It has a substantial glazing on the Sidewalk level and an awning that should overlap the Sidewalk to within 2 feet of the Curb. Syn: Retail Frontage.</p>		
<p>g. Gallery: a Frontage wherein the Facade is aligned close to the Frontage line with an attached cantilevered shed or a lightweight colonnade overlapping the Sidewalk. This type is conventional for Retail use. The Gallery shall be no less than 10 feet wide and should overlap the Sidewalk to within 2 feet of the Curb.</p>		
<p>h. Arcade: a colonnade supporting habitable space that overlaps the Sidewalk, while the Facade at Sidewalk level remains at or behind the Frontage Line. This type is conventional for Retail use. The Arcade shall be no less than 12 feet wide and should overlap the Sidewalk to within 2 feet of the Curb. See Table 8.</p>		

Note: All requirements in this Table are subject to calibration for local context.



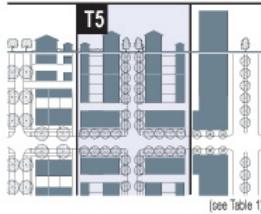
	T1 NATURAL ZONE	T2 RURAL ZONE	T3 SUB-URBAN ZONE	T4 GENERAL URBAN ZONE	T5 URBAN CENTER ZONE	T6 URBAN CORE ZONE	SD SPECIAL DISTRICT
a. ALLOCATION OF ZONES per Community (applicable to Article 2 only) (see Table 14)							
CLD requires	no minimum	50% min	10 - 30%	20 - 40%	not permitted	not permitted	
TND requires	no minimum	no minimum	10 - 30%	30 - 60%	10 - 30%	not permitted	
RCD requires	no minimum	no minimum	not permitted	10 - 30%	10 - 30%	40 - 80%	
b. BASE RESIDENTIAL DENSITY (see Section 3.4)							
By Right	not applicable	1 unit / 20 ac avg	2 units / ac. gross	4 units / ac. gross	6 units / ac. gross	12 units / ac. gross	
By TOR	by Variance	by Variance	6 units / ac. gross	12 units / ac. gross	24 units / ac. gross	24 units / ac. gross	
Other Functions	by Variance	by Variance	10 - 20% min	20 - 30% min	30 - 50% min	50 - 70% min	
c. BLOCK SIZE							
Block Perimeter	no maximum	no maximum	3000 ft. max	2400 ft. max	2000 ft. max	2000 ft. max *	
d. THOROUGHFARES (see Table 3 and Table 4)							
HW	permitted	permitted	permitted	not permitted	not permitted	not permitted	
BV	not permitted	not permitted	permitted	permitted	permitted	permitted	
AV	not permitted	not permitted	permitted	permitted	permitted	permitted	
CS	not permitted	not permitted	not permitted	not permitted	permitted	permitted	
DR	not permitted	not permitted	permitted	permitted	permitted	permitted	
ST	not permitted	not permitted	permitted	permitted	permitted	not permitted	
RD	permitted	permitted	permitted	not permitted	not permitted	not permitted	
Rear Lane	permitted	permitted	permitted	permitted	not permitted	not permitted	
Rear Alley	not permitted	not permitted	permitted	required	required	required	
Path	permitted	permitted	permitted	permitted	not permitted	not permitted	
Passage	not permitted	not permitted	permitted	permitted	permitted	permitted	
Bicycle Trail	permitted	permitted	permitted	not permitted *	not permitted	not permitted	
Bicycle Lane	permitted	permitted	permitted	permitted	not permitted	not permitted	
Bicycle Route	permitted	permitted	permitted	permitted	permitted	permitted	
e. CIVIC SPACES (see Table 13)							
Park	permitted	permitted	permitted	by Warrant	by Warrant	by Warrant	
Green	not permitted	not permitted	permitted	permitted	permitted	not permitted	
Square	not permitted	not permitted	not permitted	permitted	permitted	permitted	
Plaza	not permitted	not permitted	not permitted	not permitted	permitted	permitted	
Playground	permitted	permitted	permitted	permitted	permitted	permitted	
f. LOT OCCUPATION							
Lot Width	not applicable	by Warrant	72 ft. min 120 ft. max	18 ft. min 96 ft. max	18 ft. min 180 ft. max	18 ft. min 700 ft. max	
Lot Coverage	not applicable	by Warrant	60% max	70% max	80% max	90% max	
g. SETBACKS - PRINCIPAL BUILDING							
Front Setback (Principal)	not applicable	48 ft. min	24 ft. min	6 ft. min 18 ft. max	0 ft. min 12 ft. max	0 ft. min 12 ft. max	
Front Setback (Secondary)	not applicable	48 ft. min	12 ft. min	6 ft. min 18 ft. max	0 ft. min 12 ft. max	0 ft. min 12 ft. max	
Side Setback	not applicable	96 ft. min	12 ft. min	0 ft. min	0 ft. min 24 ft. max	0 ft. min 24 ft. max	
Rear Setback	not applicable	96 ft. min	12 ft. min	3 ft. min *	3 ft. min *	0 ft. min	
Frontage Buildout	not applicable	not applicable	40% min	60% min	80% min	80% min	
h. SETBACKS - OUTBUILDING							
Front Setback	not applicable	20 ft. min +hdg setback	20 ft. min +hdg setback	24 ft. min +hdg setback	40 ft. max from rear prop	not applicable	
Side Setback	not applicable	3 ft. or 6 ft.	3 ft. or 6 ft.	0 ft. min or 3 ft.	0 ft. min	not applicable	
Rear Setback	not applicable	3 ft. min	3 ft. min	3 ft.	3 ft. min	not applicable	
i. BUILDING DISPOSITION (see Table 5)							
Edgeward	permitted	permitted	permitted	permitted	not permitted	not permitted	
Sideward	not permitted	not permitted	not permitted	permitted	permitted	not permitted	
Rearward	not permitted	not permitted	not permitted	permitted	permitted	permitted	
Courtyard	not permitted	not permitted	not permitted	not permitted	permitted	permitted	
j. PRIVATE FRONTAGES (see Table 7)							
Carwin Yard	not applicable	permitted	permitted	not permitted	not permitted	not permitted	
Patio & Fence	not applicable	not permitted	permitted	permitted	not permitted	not permitted	
Terrace or Dooryard	not applicable	not permitted	not permitted	permitted	permitted	not permitted	
Forecourt	not applicable	not permitted	not permitted	permitted	permitted	permitted	
Stoop	not applicable	not permitted	not permitted	permitted	permitted	permitted	
Shopfront & Awning	not applicable	not permitted	not permitted	permitted	permitted	permitted	
Gallery	not applicable	not permitted	not permitted	permitted	permitted	permitted	
Arcade	not applicable	not permitted	not permitted	not permitted	permitted	permitted	
k. BUILDING CONFIGURATION (see Table 8)							
Principal Building	not applicable	2 Stories max	2 Stories max	3 Stories max, 2 min	5 Stories max, 2 min	8 Stories max, 2 min	
Outbuilding	not applicable	not applicable	2 Stories max	2 Stories max	2 Stories max	not applicable	
l. BUILDING FUNCTION (see Table 11 & Table 12)							
Residential	not applicable	restricted use	restricted use	limited use	open use	open use	
Lodging	not applicable	restricted use	restricted use	limited use	open use	open use	
Office	not applicable	restricted use	restricted use	limited use	open use	open use	
Retail	not applicable	restricted use	restricted use	limited use	open use	open use	

DISPOSITION

CONFIGURATION

FUNCTION

TABLE 15: Form-Based Code Graphics. The following plate is a graphic form-based code for buildings.



BUILDING FUNCTION (see Table 10 & Table 12)

Residential	open use
Lodging	open use
Office	open use
Retail	open use

BUILDING CONFIGURATION (see Table 8)

Principal Building	5 stories max. 2 min.
Outbuilding	2 stories max.

LOT OCCUPATION

Lot Width	18 ft min 180 ft max
Lot Coverage	80% max

BUILDING DISPOSITION (see Table 9)

Edgeyard	not permitted
Sideyard	permitted
Rearyard	permitted
Courtyard	permitted

SETBACKS - PRINCIPAL BUILDING

Front Setback (P)	0 ft. min. 12 ft. max.
Front Setback (S)	0 ft. min. 12 ft. max.
Side Setback	0 ft. min. 24 ft. max.
Rear Setback	3 ft. min.*
Frontage Buildout	80% min at setback

SETBACKS - OUTBUILDING

Front Setback	40 ft. max. from rear prop.
Side Setback	0 ft. min.
Rear Setback	3 ft. max.

PRIVATE FRONTAGES (see Table 7)

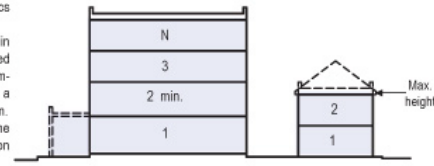
Common Lawn	not permitted
Porch & Fence	not permitted
Terrace or L.C.	permitted
Forecourt	permitted
Stoop	permitted
Shopfront & Awning	permitted
Gallery	permitted
Arcade	permitted

PARKING PROVISIONS
See Table 10 & Table 11

* or 15 ft. from center line of alley
Graphics are illustrative only. Refer to metrics for Setback and height information.
"N" stands for any Stories above those shown, up to the maximum. Refer to metrics for exact minimums and maximums.

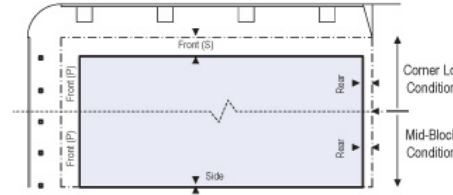
BUILDING CONFIGURATION

1. Building height shall be measured in number of Stories, excluding Attics and raised basements.
2. Stories may not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor Commercial function which must be a minimum of 11 ft with no maximum.
3. Height shall be measured to the eave or roof deck as specified on Table 8.
4. Expression Lines shall be as shown on Table 8.



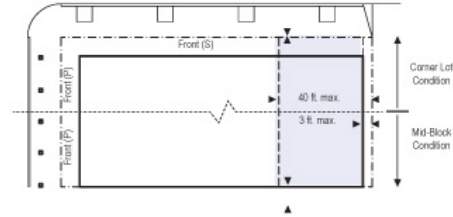
SETBACKS - PRINCIPAL BLDG.

1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.



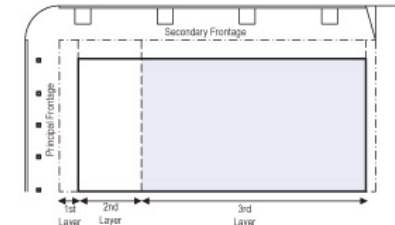
SETBACKS - OUTBUILDING

1. The Elevations of the Outbuilding shall be distanced from the Lot lines as shown.



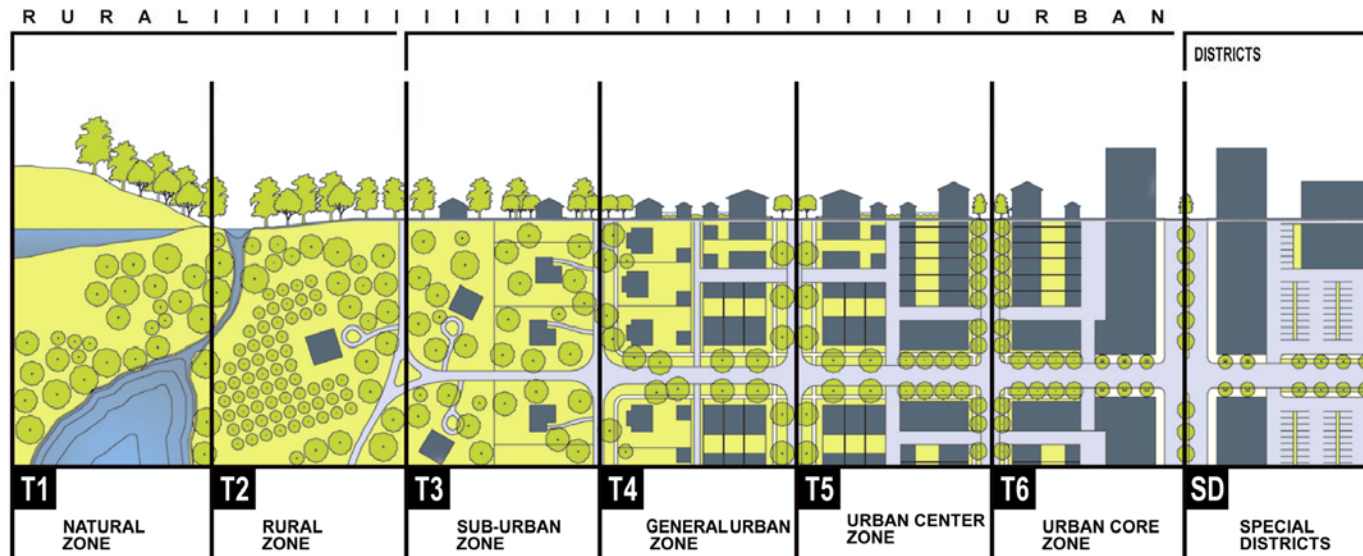
PARKING PLACEMENT

1. Uncovered parking spaces may be provided within the 3rd Layer as shown in the diagram (see Table 17d).
2. Covered parking shall be provided within the 3rd Layer as shown in the diagram (see Table 17d).
3. Trash containers shall be stored within the 3rd Layer.



Typical Departures from the Model Code

- Dimensions & Physical Form (Synoptic Survey)
- Legal/Language Issues
- T6X: Height
- T5L: (Limit Commercial), One Storey Shopfront Height
- T4L: (Limit Building Type)
- T3: Exceptional
- Modules: Expandability
- Implementation



Coding Process

1. Calibration
 - Synoptic Survey
 - Legal Calibration
 - Code
2. Mapping
 - Sector Plan
 - Regulating Plans
3. Implementation
 - Public Process
 - Administration

SMART CODE
v 9.0



DRAFT 09 OCT 07



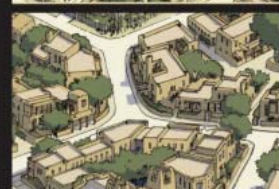
T1



T2



T3



T4



T5

T A O S N M
SMART CODE VERSION 9.0





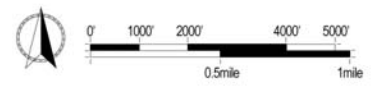
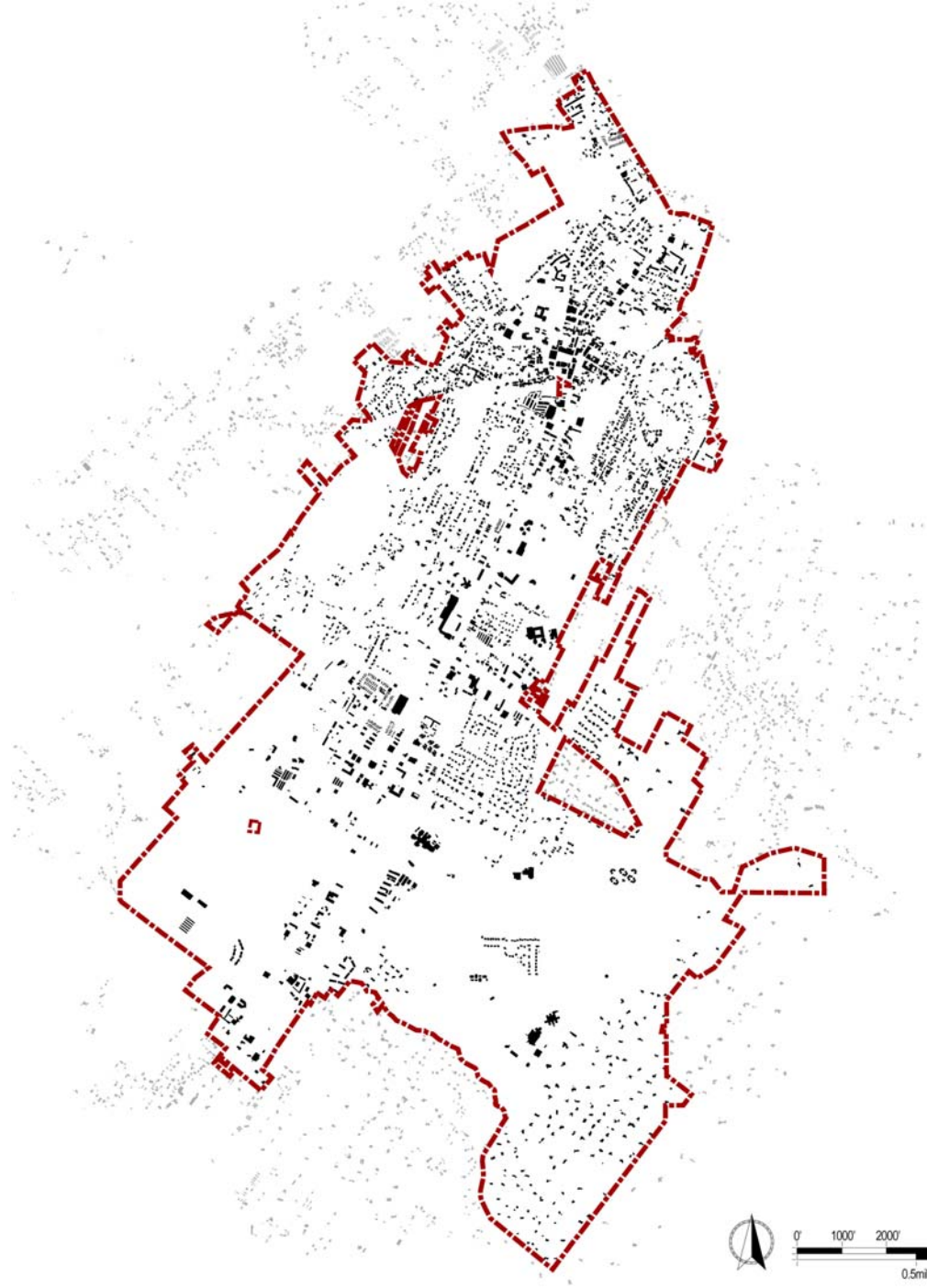
Hotel
La Fonda

Hotel
La Fonda

Wendy



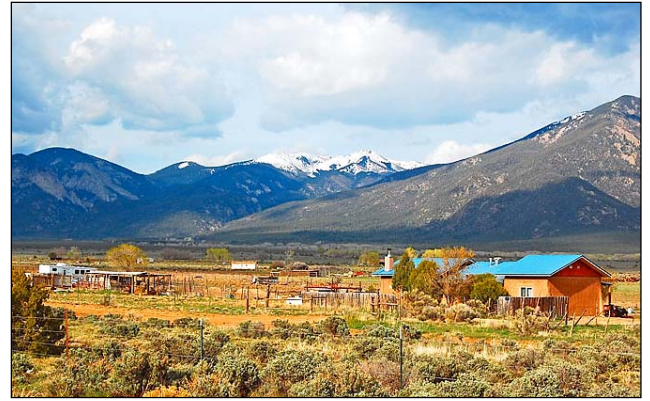








1. Calibration
 - Synoptic Survey
 - Legal Calibration
 - Code
2. Mapping
 - Sector Plan
 - Regulating Plans
3. Implementation
 - Public Process
 - Administration



T4 Ledoux Street



LEDOUX STREET

Average Block Dimension	
Units per Acre	20
Average Lot Size	60' w, 175' d
Average Lot Coverage	60%



PUBLIC FRONTAGE

Public Frontage Type	ST
Spatial Width	12' - 30'
ROW Width	12' - 30'
Moving Lanes	1
Parking Lanes	1
Pavement Width	12' - 18'
Curb Type	raised 6"
Curb Radius	
Sidewalk	
Planter Type	
Planter Width	
Planting Pattern	



PRIVATE FRONTAGE

Private Frontage Type	Forecourt, Stoop, Shopfront
Principal building height	1 min, 3 max
Outbuilding height	3 max
First floor above grade	
Building disposition	rear, side
Lot size	40' - 72' wide
Lot coverage	30% - 75%
Buildout percentage @ sidewalk	
Front Setback	0 min, 8' max
Side Setback	0
Rear Setback	20' min
Outbuilding Setback	
Front Encroachment	
Side Encroachment	
Ground Level Function	Retail, Museum
Upper Level Function	Res, Museum

T5 Taos Plaza



DON FERNANDO ST @ RANCHITO RD

Average Block Dimension	
Units per Acre	
Average Lot Size	40' w, 100' d
Average Lot Coverage	90%



PUBLIC FRONTAGE

Public Frontage Type	CS
Spatial Width	
ROW Width	58'
Moving Lanes	1
Parking Lanes	1, diagonal head-in
Pavement Width	40'
Curb Type	raised 6"
Curb Radius	
Sidewalk	7'
Planter Type	
Planter Width	
Planting Pattern	



PRIVATE FRONTAGE

Private Frontage Type	Shopfront, Portal
Principal building height	2 min, 3 max
Outbuilding height	
First floor above grade	
Building disposition	rear
Lot size	28' - 140'w, 105' - 150' d
Lot coverage	80% - 95%
Buildout percentage @ sidewalk	90%
Front Setback	0
Side Setback	0
Rear Setback	
Outbuilding Setback	
Front Encroachment	
Side Encroachment	
Ground Level Function	Retail
Upper Level Function	Res





TABLE 7: Private Frontages. The Private Frontage is the Layer between the building and the Frontage Lot lines.

	SECTION	PLAN
	LOT PRIVATE FRONTAGE ← R.O.W. PUBLIC FRONTAGE	LOT PRIVATE FRONTAGE ← R.O.W. PUBLIC FRONTAGE
<p>a. Common Yard: a planted Frontage wherein the Facade is set back substantially from the Frontage Line. The front yard created remains unfenced and is visually continuous with adjacent yards, supporting a common landscape. The deep Setback provides a buffer from the higher speed Thoroughfares.</p>		
<p>b. Porch & Fence: a planted Frontage wherein the Facade is set back from the Frontage Line with an attached porch permitted to Encroach. A fence at the Frontage Line maintains street spatial definition. Porches shall be no less than 8 feet deep.</p>		
<p>c. Terrace or Lightwell: a Frontage wherein the Facade is set back from the Frontage line by an elevated terrace or a sunken Lightwell. This type buffers Residential use from urban Sidewalks and removes the private yard from public Encroachment. Terraces are suitable for conversion to outdoor cafes. Syn: Dooryard.</p>		
<p>d. Forecourt: a Frontage wherein a portion of the Facade is close to the Frontage Line and the central portion is set back. The Forecourt created is suitable for vehicular drop-offs. This type should be allocated in conjunction with other Frontage types. Large trees within the Forecourts may overhang the Sidewalks.</p>		
<p>e. Stoop: a Frontage wherein the Facade is aligned close to the Frontage Line with the first Story elevated from the Sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing. This type is recommended for ground-floor Residential use.</p>		
<p>f. Shopfront: a Frontage wherein the Facade is aligned close to the Frontage Line with the building entrance at Sidewalk grade. This type is conventional for Retail use. It has a substantial glazing on the Sidewalk level and an awning that should overlap the Sidewalk to within 2 feet of the Curb. Syn: Retail Frontage.</p>		
<p>g. Gallery: a Frontage wherein the Facade is aligned close to the Frontage line with an attached cantilevered shed or a lightweight colonnade overlapping the Sidewalk. This type is conventional for Retail use. The Gallery shall be no less than 10 feet wide and should overlap the Sidewalk to within 2 feet of the Curb.</p>		
<p>h. Arcade: a colonnade supporting habitable space that overlaps the Sidewalk, while the Facade at Sidewalk level remains at or behind the Frontage Line. This type is conventional for Retail use. The Arcade shall be no less than 12 feet wide and should overlap the Sidewalk to within 2 feet of the Curb. See Table 8.</p>		

TABLE 7A: Private Frontages. The Private Frontage is the area between the building Facades and the Lot lines.

	SECTION		PLAN		
	LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE	LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE	
<p>a. Walled Yard: a Frontage wherein the Facade is set back from the Frontage Line to provide a yard and is separated from the sidewalk with a Wall. The Wall maintains street spatial definition. Setback varies per T-Zone. May be combined with b.-f. Wall varies per T-Zone. See Table 7B.</p>					T2 T3 T4 T5
<p>b. Private Portal: A Frontage wherein the Facade is aligned close to the Frontage Line or at the Setback with a post and beam flat-roofed, ground-level colonnade. If setback, a Wall is required at the Frontage Line. May encroach into required setback. A balcony is permitted above Portal. Portal depth is 8 ft. min.</p>					T2 T3 T4 T5
<p>c. 2-Storey Private Portal: a Frontage wherein the Facade is aligned close to the Frontage Line or at the Setback with a 2-story post and beam, flat-roofed colonnade. If setback, a Wall is required at the Frontage Line. May encroach into required setback. Portal depth is 8 ft. min.</p>					T2 T3 T4 T5
<p>d. Private Portal below 2nd Storey: a Frontage wherein the Facade is recessed from the Frontage Line or at the Setback with a Portal on the ground level and a 2nd level above the Portal. If setback, a Wall is required at the Frontage Line. May encroach into required setback. Portal depth is 8 ft. min.</p>					T3 T4 T5
<p>e. 2nd Storey Stepback: a Frontage wherein the 1st level Facade is aligned close to the Frontage Line or at the Setback and the 2nd level Facade steps back. If setback, a Wall is required at the Frontage Line.</p>					T2 T3 T4 T5
<p>f. Portal over 1st Storey: a Frontage wherein the Facade on the 1st level is set at the Frontage Line or at the Setback and the Facade of the 2nd level is set back from the Frontage Line providing space for a colonnade on the second level. If setback, a Wall is required at the Frontage Line. Portal depth is 8 ft. min.</p>					T3 T4 T5
<p>g. Zero Setback: a Frontage wherein the Facade is aligned at the frontage line.</p>					T4 T5
<p>h. Public Portal: a Frontage wherein the Facade is aligned with the Frontage Line with a post and beam colonnade extending over the sidewalk. May be required around a Plaza. Portal depth is 8 ft. min. 2 ft. between face of Portal post and curb required.</p>					T5

TABLE 7A: Private Frontages. The Private Frontage is the area between the building Facades and the Lot lines.

	SECTION		PLAN	
	LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE	LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE
i. 2-Storey Public Portal: a Frontage wherein the Facade is aligned with the Frontage Line with a 2-storey post and beam colonnade extending over the sidewalk.				
j. Public Portal Below 2nd Storey: a Frontage wherein the Facade is aligned with the Frontage Line with a post and beam colonnade extending over the sidewalk with a 2nd Storey above.				

TABLE 7B: Private Frontages Fencing: Fencing requirements at Frontage Line.

a. Wire Fence: a Frontage Fence wherein the face is setback from the Frontage Line. This type is Rural only and is used for livestock. Height: 3 ft. Setback: 3 ft. - 6 ft.			T2
b. Board Fence: a Frontage Fence wherein the face is aligned close to the Frontage Line. This type ranges from rural to general neighborhood and is a common Privacy Fence. Height: 5 ft. min. Setback: 1 ft. - 6 ft.			T2 T3 T4
c. Coyote/Latilla Fence: a Frontage Fence wherein the face is aligned close to the Frontage Line. This type ranges from rural to general neighborhood and is a common Privacy Fence. Maybe be combined with an adobe or stone base of 1.6 ft. max. Height: 5 ft. min. Setback: 1 ft. - 6 ft.			T2 T3 T4
d. Adobe Wall: a Frontage Fence wherein the face is aligned at or close to the Frontage Line. This type is general neighborhood to urban and contributes to the spatial enclosure of the street. Height: 3 ft. - 6 ft. Setback: 0 ft. - 3 ft.			T3 T4 T5
e. Banco: a Frontage Fence wherein the face is aligned at or close to the Frontage Line. This type is a common urban Forecourt or Plaza enclosure. Material may be adobe or stone. Height: 3 ft. max. Setback: 0 ft. - 3 ft.			T4 T5

TABLE 7A. PRIVATE FRONTAGES

SMARTCODE

Taos, New Mexico

TABLE 7A: Private Frontages. The Private Frontage is the area between the building Facades and the Lot lines.

	SECTION		PLAN		
	LOT PRIVATE FRONTAGE ▶	◀ R.O.W. PUBLIC FRONTAGE	LOT PRIVATE FRONTAGE ▶	◀ R.O.W. PUBLIC FRONTAGE	
<p>a. Walled Yard: a Frontage wherein the Facade is set back from the Frontage Line to provide a yard and is separated from the sidewalk with a Wall. The Wall maintains street spatial definition. Setback varies per T-Zone. May be combined with b.-f. Wall varies per T-Zone. See Table 7B.</p>					T2 T3 T4 T5
<p>b. Private Portal: A Frontage wherein the Facade is aligned close to the Frontage Line or at the Setback with a post and beam flat-roofed, ground-level colonnade. If setback, a Wall is required at the Frontage Line. May encroach into required setback. A balcony is permitted above Portal. Portal depth is 8 ft. min.</p>					T2 T3 T4 T5
<p>c. 2-Storey Private Portal: a Frontage wherein the Facade is aligned close to the Frontage Line or at the Setback with a 2-story post and beam, flat-roofed colonnade. If setback, a Wall is required at the Frontage Line. May encroach into required setback. Portal depth is 8 ft. min.</p>					T2 T3 T4 T5
<p>d. Private Portal below 2nd Storey: a Frontage wherein the Facade is recessed from the Frontage Line or at the Setback with a Portal</p>					T3 T4

TABLE 6. BUILDING CONFIGURATION

SMARTCODE

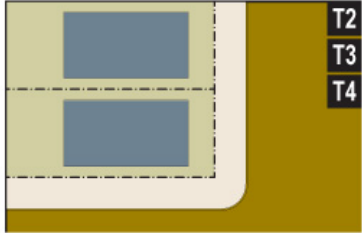
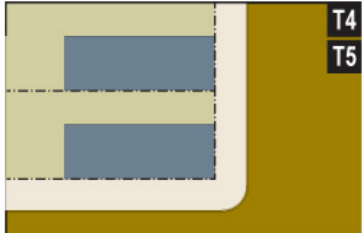
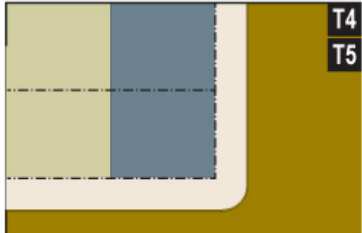
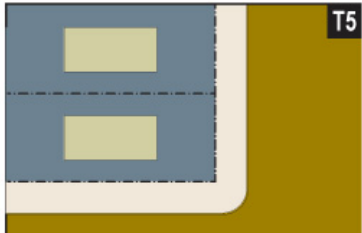
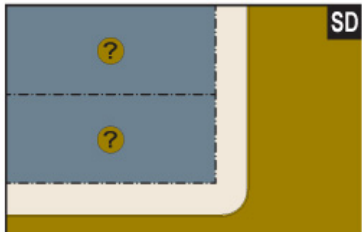
Taos, New Mexico






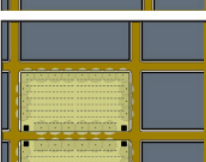
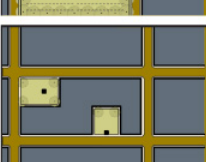
TABLE 6: Building Configuration. This table shows the Configurations for different building heights for each Transect Zone. N = maximum height as specified in Table 12k.



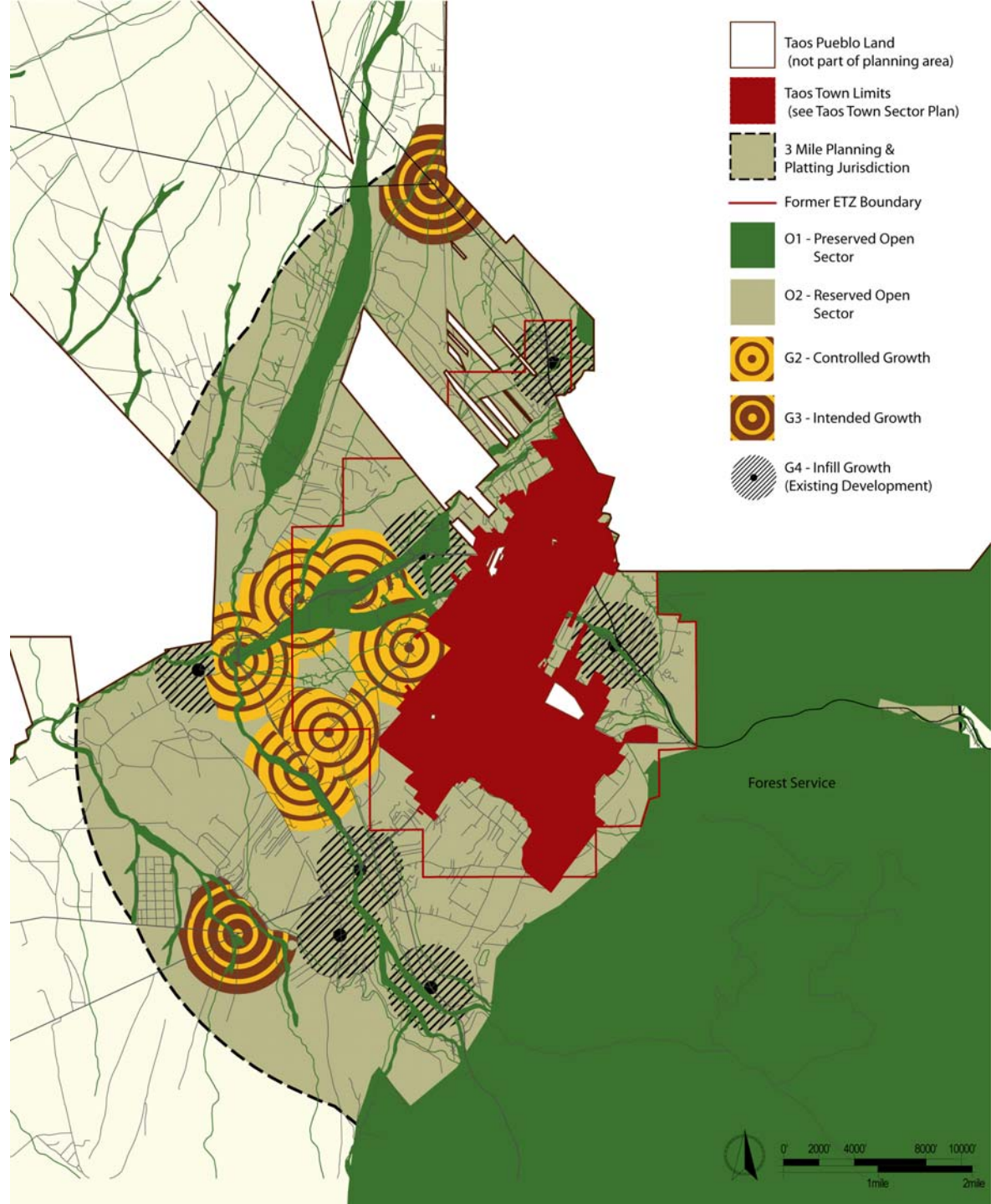
1. Building height shall be measured in number of Stories, excluding Attics and raised basements. Height limits also do not apply to masts, bellies, clock towers, chimney flues, water tanks, elevator bulkheads and similar structures.
2. Stories may not exceed 14 feet in height from finished floor to finished floor, except for a first floor Commercial Function, which shall be a minimum of 11 feet and may be a maximum of 18 feet.
3. Height shall be measured from the average Enfronting Sidewalk grade to the uppermost eave of a main pitched roof (not of a dormer), or to the uppermost roof deck (not the top of parapet) of a flat roof.

TABLE 9: Building Disposition. This table approximates the location of the structure relative to the boundaries of each individual Lot, establishing suitable basic building types for each Transect Zone.

<p>a. Edgeyard: Specific Types - single family House, cottage, hacienda, estate house, urban villa. A building that occupies the center of its Lot with Setbacks on all sides. This is the least urban of types as the front yard sets it back from the Frontage, while the side yards weaken the spatial definition of the public Thoroughfare space. The rear yard can be secured for privacy by fences and a well-placed Backbuilding and/or Outbuilding.</p>	 <p>T2 T3 T4</p>
<p>b. Sideyard: Specific Types - Double house, zero-lot-line house, twin. A building that occupies one side of the Lot with the Setback to the other side. A shallow Frontage Setback defines a more urban condition. If the adjacent building is similar with a blank party wall, the yard can be quite private. This type permits systematic climatic orientation in response to the sun or the breeze. If a Sideyard House abuts a neighboring Sideyard House, the type is known as a twin or double House. Energy costs, and sometimes noise, are reduced by sharing a party wall in this Disposition.</p>	 <p>T4 T5</p>
<p>c. Rearyard: Specific Types - Townhouse, Rowhouse, Live-Work unit, loft building, Apartment House, Mixed Use block, Flex Building, perimeter block. A building that occupies the full Frontage, leaving the rear of the Lot as the sole yard. This is a very urban type as the continuous Facade steadily defines the public Thoroughfare. The rear Elevations may be articulated for functional purposes. In its Residential form, this type is the Rowhouse. For its Commercial form, the rear yard can accommodate substantial parking.</p>	 <p>T4 T5</p>
<p>d. Courtyard: Specific Types - Compound, patio house. A building that occupies the boundaries of its Lot while internally defining one or more private patios. This is the most urban of types, as it is able to shield the private realm from all sides while strongly defining the public Thoroughfare. Because of its ability to accommodate incompatible activities, masking them from all sides, it is recommended for workshops, Lodging and schools. The high security provided by the continuous enclosure is useful for crime-prone areas.</p>	 <p>T5</p>
<p>e. Specialized: A building that is not subject to categorization. Buildings dedicated to manufacturing and transportation are often distorted by the trajectories of machinery. Civic buildings, which may express the aspirations of institutions, may be included.</p>	 <p>SD</p>

<p>a. Open Space: A natural preserve available for unstructured recreation. Open Space may be independent of surrounding building Frontages. Its landscape shall consist of Paths and trails, meadows, waterbodies, acequias, woodland and open shelters, all naturalistically disposed. Open Space may be lineal, following the trajectories of natural Corridors. The minimum size shall be 2 acres. Larger Open Space may be approved by Warrant as Special Districts in all zones.</p>	 <p>T1 T2 T3</p>
<p>b. Sports Fields: An Open Space, available for structured recreation. The Sports Fields purpose is to consolidate highly programmed athletic fields to larger and fewer locations. The minimum size shall be 2 acre and the maximum shall be 20 acres.</p>	 <p>T2 T3</p>
<p>c. Parque Comunal: An Open Space available for unstructured recreation. A Parque Comunal may be spatially defined by landscaping rather than building Frontages. Its landscape shall consist of landscaping and trees, naturalistically disposed. The minimum size shall be 1/4 acre and the maximum shall be 8 acres.</p>	 <p>T3 T4</p>
<p>d. Plaza: An Open Space available for Civic purposes and Commercial activities. A Plaza shall be spatially defined by building Frontages, commonly with Portales. Its landscape shall consist primarily of pavement. Trees, shrubs and groundcovers are optional. Plazas should be located at the intersection of important streets. The minimum size shall be 1 acre and the maximum shall be 8 acres.</p>	 <p>T4 T5</p>
<p>e. Plazuela: An Open Space available for Civic purposes at the Neighborhood scale. A Plazuela is spatially defined by building Frontages. Its landscape shall consist primarily of pavement. Plazuelas shall be located near Neighborhood centers or interior to a Residential block. The minimum size shall be 1/4 acre and the maximum shall be 5 acres.</p>	 <p>T4 T5</p>
<p>f. Cemetery: An Open Space designed for interment and Civic gatherings. A Cemetery should be walled. Cemeteries not associated with churches shall be spatially defined by building Frontages. There shall be no minimum or maximum size.</p>	 <p>T2 T3 T4 T5</p>
<p>g. Playground: An Open Space designed and equipped for the recreation of children. A playground should be fenced and may include an open shelter. Playgrounds shall be interspersed within Residential areas and may be placed within a Block. Playgrounds may be included within parks and greens. There shall be no minimum or maximum size.</p>	 <p>T2 T3 T4 T5</p>

1. Calibration
 - Synoptic Survey
 - Legal Calibration
 - Code
2. Mapping
 - Sector Plan
 - Regulating Plans
3. Implementation
 - Public Process
 - Administration

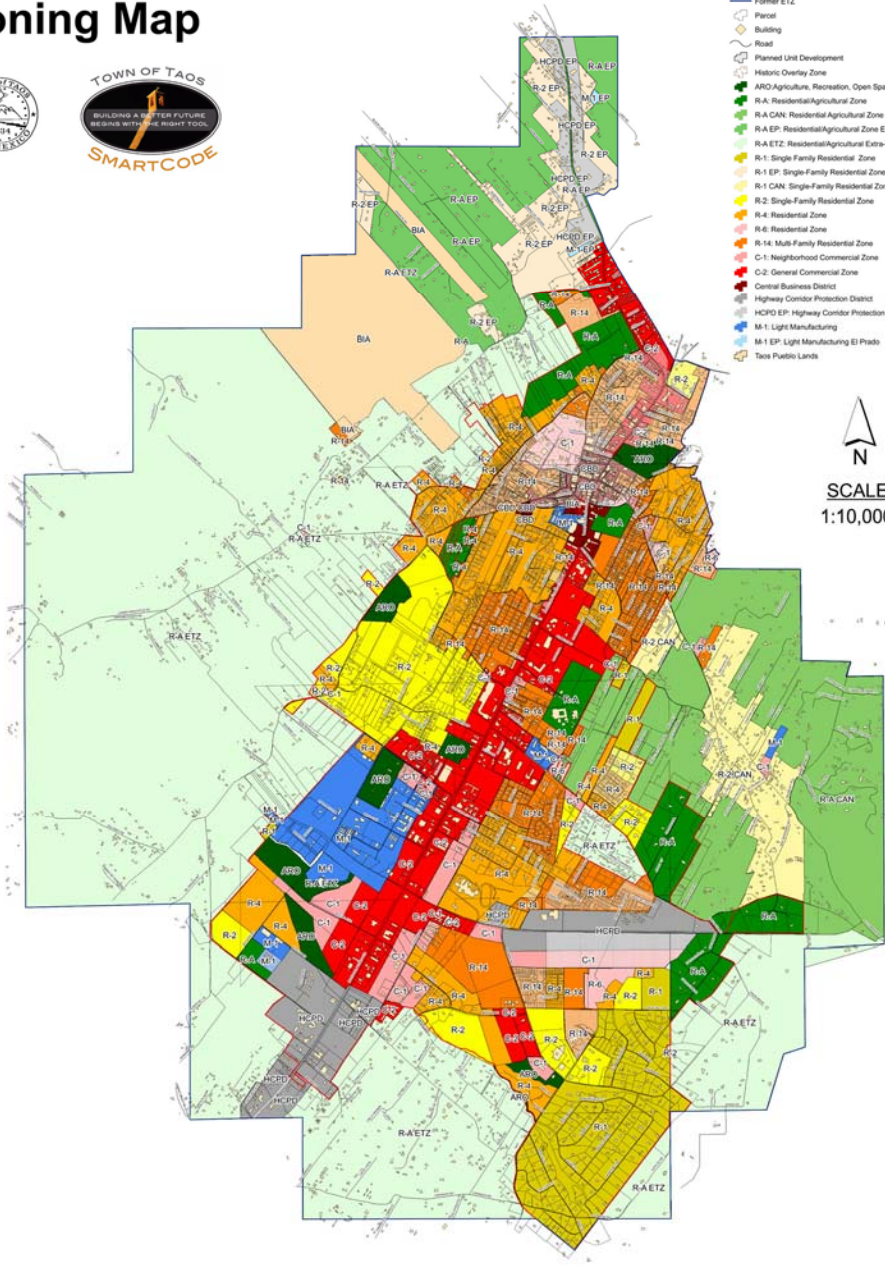


Town of Taos & Former ETZ Zoning Map



Legend

- Town Limit
- Former ETZ
- Parcel
- Building
- Road
- Planned Unit Development
- Historic Overlay Zone
- ARO Agriculture, Recreation, Open Space, Flood Zone
- R-A Residential/Agricultural Zone
- R-A CAN Residential/Agricultural Zone Canon
- R-A EP Residential/Agricultural Zone El Prado
- R-A ETZ Residential/Agricultural Extra-Territorial Zone
- R-1 Single Family Residential Zone
- R-1 EP Single Family Residential Zone El Prado
- R-1 CAN Single Family Residential Zone Canon
- R-2 Single Family Residential Zone
- R-4 Residential Zone
- R-6 Residential Zone
- R-14 Multi Family Residential Zone
- C-1 Neighborhood Commercial Zone
- C-2 General Commercial Zone
- Central Business District
- Highway Corridor Protection District
- HCPO EP Highway Corridor Protection District El Prado
- M-1 Light Manufacturing
- M-1 EP Light Manufacturing El Prado
- Taos Pueblo Lands



N
SCALE
1:10,000

T-Zone 4 General Urban Zone Matrix

	EXISTING						PROPOSED
	R4 Residential Zone	R6 Residential Zone	C1 Neighborhood Commercial Zone	C2 General Commercial Zone	R14 MF Residential Zone	COZ Cluster Overlay Zone	T4 General Urban Zone
LOT							
Area	1/4 acre, 80 ft. min front	7,250 sq. ft., 60 ft. min front	7,250 sq. ft., 70 ft. min front	7,250 sf max, 70 ft. min front	Various sf, 50 ft. min front	Various sf, 35' min front	24' min 96' max front
Lot Coverage	40%	40%	40%	60%	40%		70%
FAR (Density)	(4 du per acre)	(6 du per acre)	0.75 max	1.0 max (14 du per acre)	0.75 max (14 du per acres)	10% Bonus Density	(4 - 12 units per acre gross)
SETBACK							
Front	20 ft. min.	30 ft. min.	20 ft. min.	10 ft. min.	20 ft. min.	20 ft. min.	0 - 24 ft. min.
Side	10 ft. min.	7 ft. min.	7 ft. min.	7 ft. min.	7 ft. min.	10 ft. min.	0 - 3 ft. min.
Rear	20 ft. min.	20 ft. min.	15 ft. min.	20 ft. min.	15 ft. min.	10 ft. min.	3 ft. min.
BUILDING TYPE							
Edgeyard	permitted	permitted	permitted (conditional use)	permitted (conditional use)	permitted		permitted
Sideyard	not permitted	permitted	permitted (conditional use)	permitted (PUD)	permitted		permitted
Rearyard	not permitted	permitted	permitted (conditional use)	permitted (PUD)	permitted		permitted
Courtyard	not permitted	permitted	permitted (conditional use)	permitted (PUD)	permitted		not permitted
FRONTAGE							
Common Lawn							not permitted
Porch & Fence							permitted
Dooryard							permitted
Forecourt							permitted
Shop							permitted
Shopfront							permitted
Gallery							permitted
Arcade							not permitted
Principal Building	27 feet	27 feet	27 feet	27 feet	27 feet	27 feet	1 Story max
Outbuilding	27 feet	27 feet	27 feet	27 feet	27 feet	27 feet	2 Stories max
BUILDING FUNCTION							
Residential	permitted	permitted	conditional use	conditional use	permitted	site development permit	limited use
Lodging	conditional use	conditional use	conditional use	permitted	conditional use	site development permit	limited use
Office	conditional use	conditional use	permitted	permitted	conditional use	site development permit	limited use
Retail	conditional use	conditional use	permitted	permitted	conditional use	site development permit	limited use

DISPOSITION

CONFIGURATION

FUNCTION

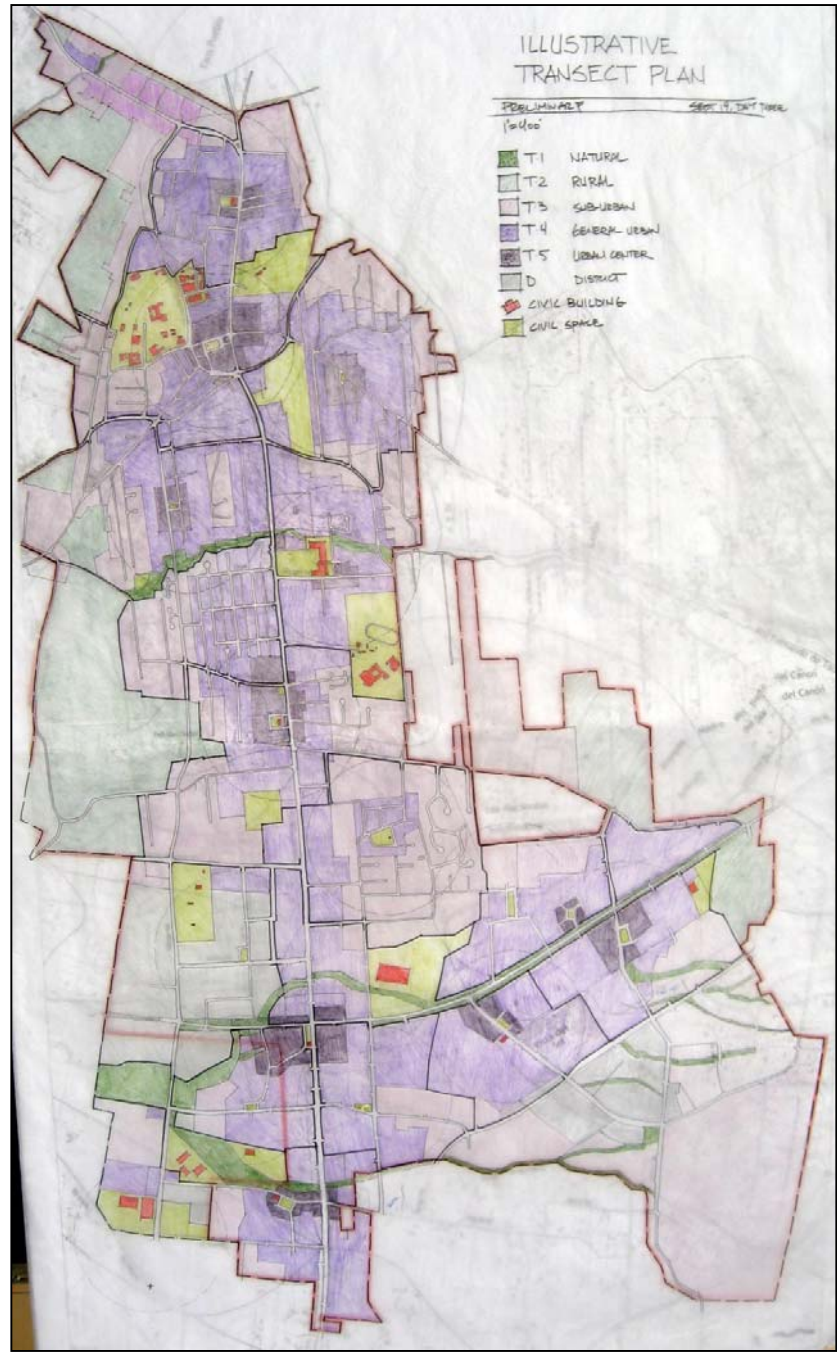
T-Zone 5 Urban Center Zone Matrix

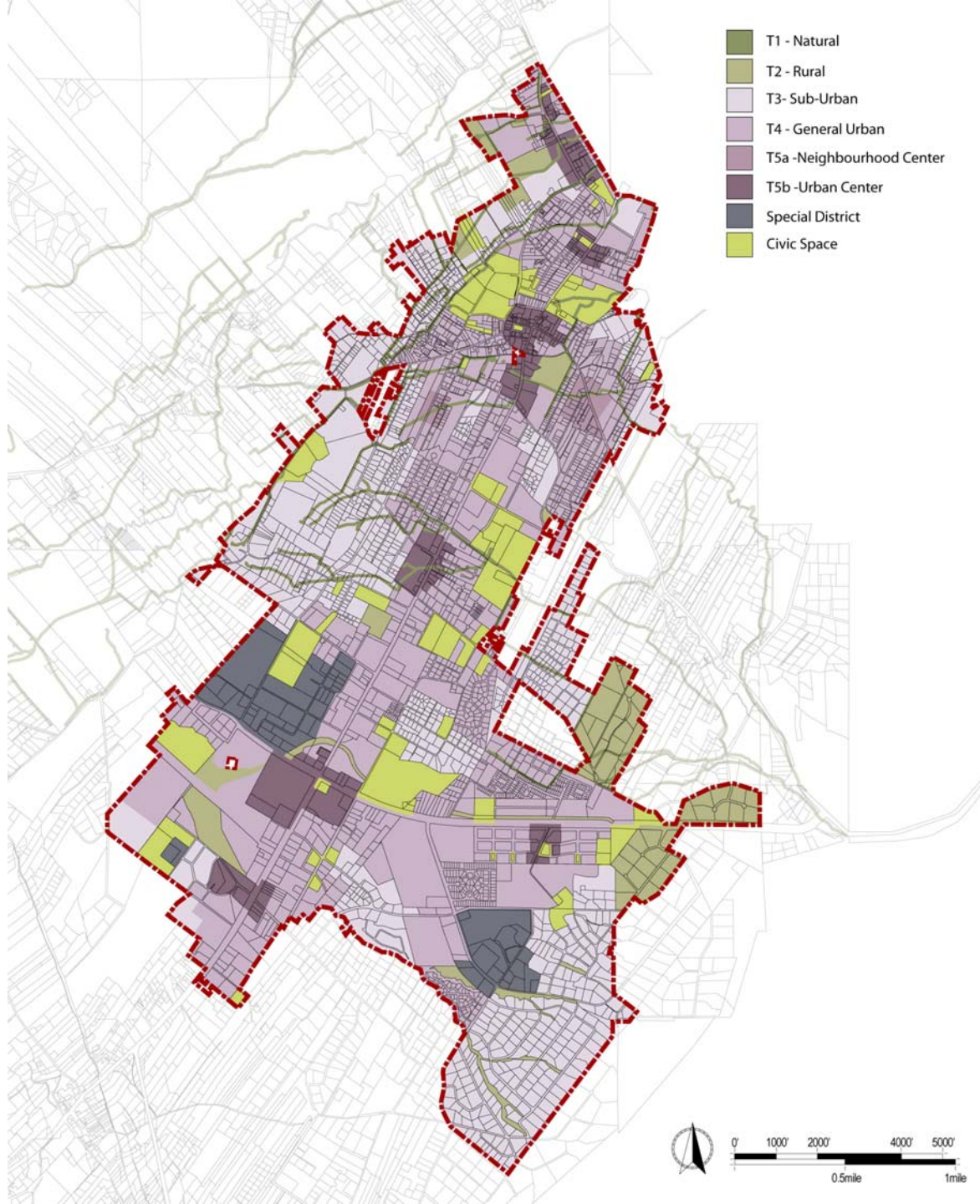
		EXISTING					PROPOSED				
		CBD Central Business District	HCP Highway Corridor Protection Dist.	HOZ Historic Overlay Zone	C1 Neighborhood Commercial Zone	C2 General Commercial Zone	R14 MF Residential Zone	T5 Urban Center Zone			
LOT						DISPOSITION					
Area		Various, 70 ft. min front	10,000 sq ft, 70 ft. min front	La Loma Plaza & Downtown	7,250 sq. ft., 70 ft. min front	7,250 sf max, 70 ft. min front	Various sf, 50 ft. min front	18 ft. min 180 ft. max			
Lot Coverage		60%	60%		40%	60%	40%	80% max			
FAR (Density)		(14 du per acre)	(14 du per acre)		0.75 max	1.0 max (14 du per acre)	0.75 max (14 du per acre)	(6-24 units / acres gross)			
SETBACK											
Front		20 ft. min.	10 ft. min.		20 ft. min.	10 ft. min.	20 ft. min.	0 ft. min 12 ft. max.			
Side		7 ft. min.	15 ft. min.		7 ft. min.	7 ft. min.	7 ft. min.	0 ft. min 24 ft. max.			
Rear		15 ft. min.	20 ft. min.		15 ft. min.	20 ft. min.	15 ft. min.	3 ft. min.			
BUILDING TYPE											
Edgeyard		permitted	permitted		permitted (conditional use)	permitted (conditional use)	permitted	not permitted	CONFIGURATION		
Sideyard		permitted	not permitted		permitted (conditional use)	permitted (PUD)	permitted	permitted			
Rearyard		permitted	not permitted		permitted (conditional use)	permitted (PUD)	permitted	permitted			
Courtyard		permitted	not permitted		permitted (conditional use)	permitted (PUD)	permitted	permitted			
FRONTAGE TYPE											
Common Lawn								permitted			
Porch & Fence								permitted			
Dooryard								not permitted			
Forecourt								not permitted			
Shop								not permitted			
Shopfront		permitted						not permitted			
Gallery								not permitted			
Arcade								not permitted			
HEIGHT											
Principal Building		27 feet	27 feet		27 feet	27 feet	27 feet	27 feet	2 Stories max		
Outbuilding		27 feet	27 feet		27 feet	27 feet	27 feet	27 feet	2 Stories max		
BUILDING FUNCTION											
Residential		permitted	not permitted		conditional use	conditional use	permitted	restricted use	FUNCTION		
Lodging		permitted	conditional use		conditional use	permitted	conditional use	restricted use			
Office		permitted	conditional use		permitted	permitted	conditional use	restricted use			
Retail		permitted	permitted		permitted	permitted	conditional use	restricted use			

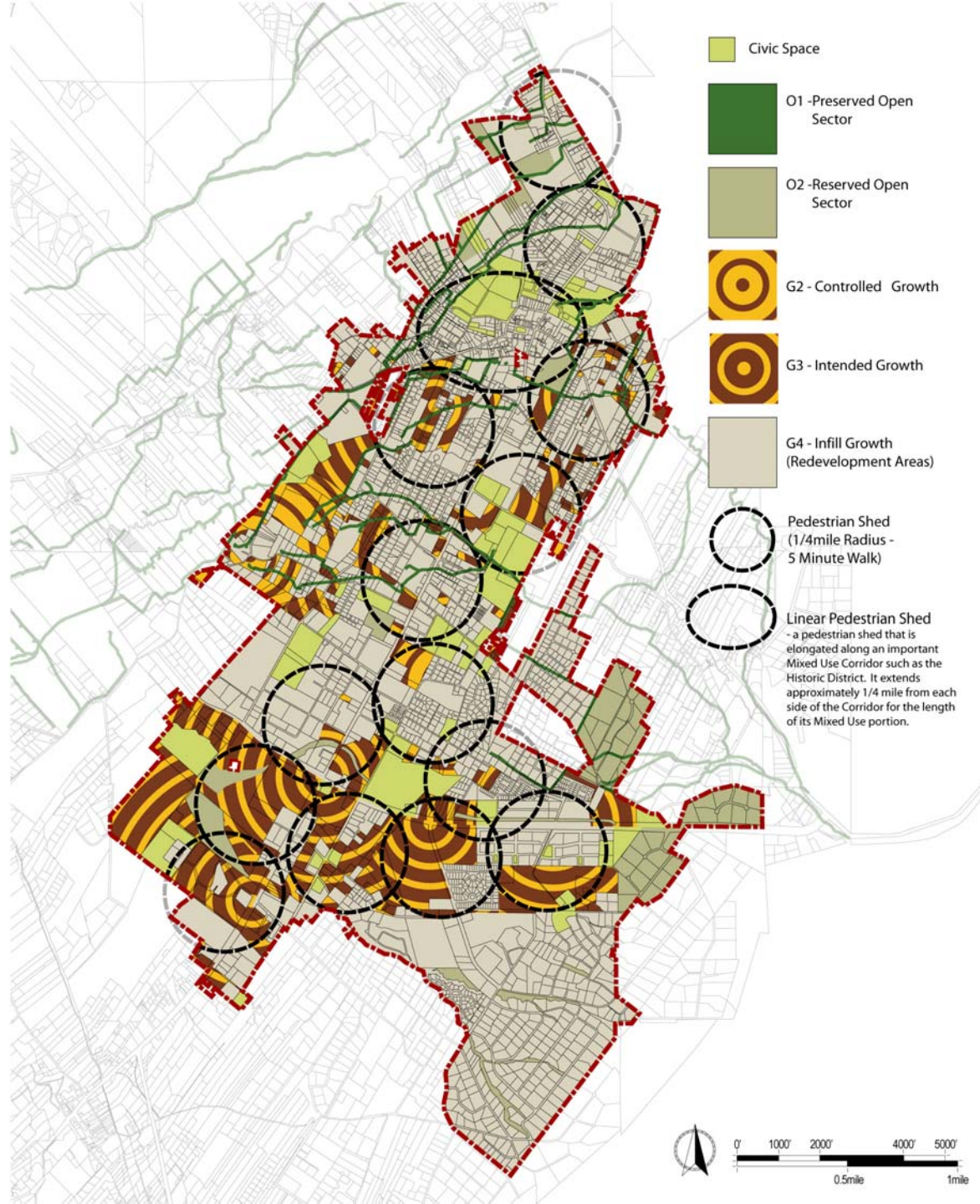
ILLUSTRATIVE TRANSECT PLAN

PRELIMINARY 2007.11.24.10:00

- T1 NATURAL
- T2 RURAL
- T3 SUBURBAN
- T4 GENERAL-URBAN
- T5 URBAN CENTER
- D DISTRICT
- CIVIC BUILDING
- CIVIL SPACE







Civic Space

O1 - Preserved Open Sector

O2 - Reserved Open Sector

G2 - Controlled Growth

G3 - Intended Growth

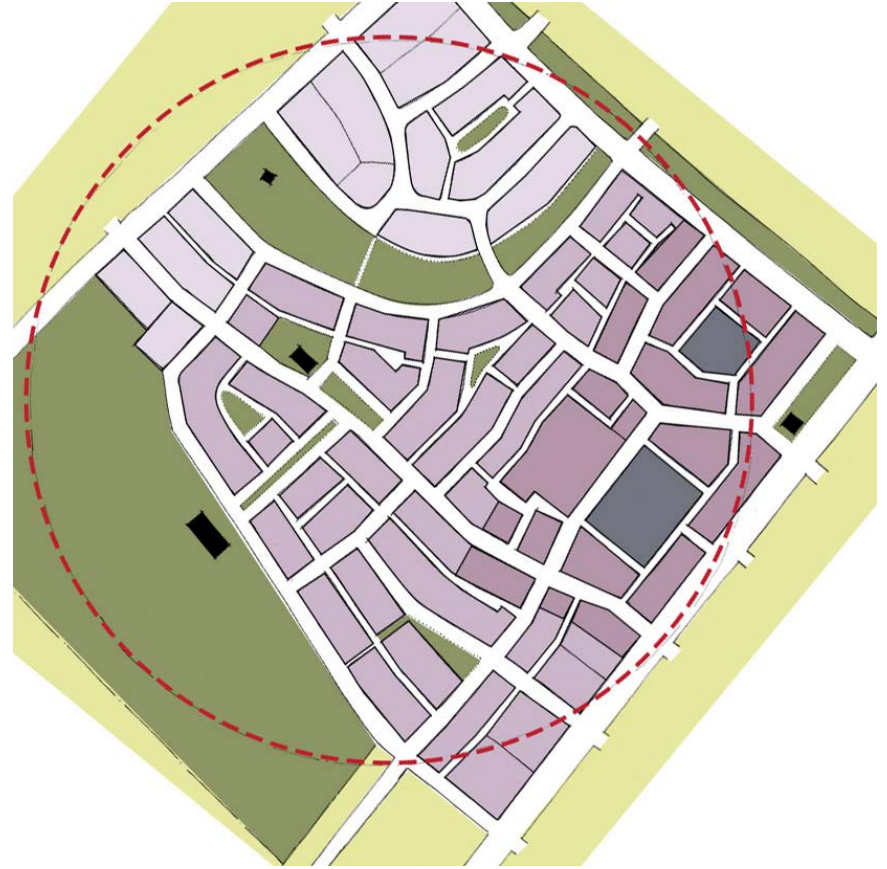
G4 - Infill Growth (Redevelopment Areas)

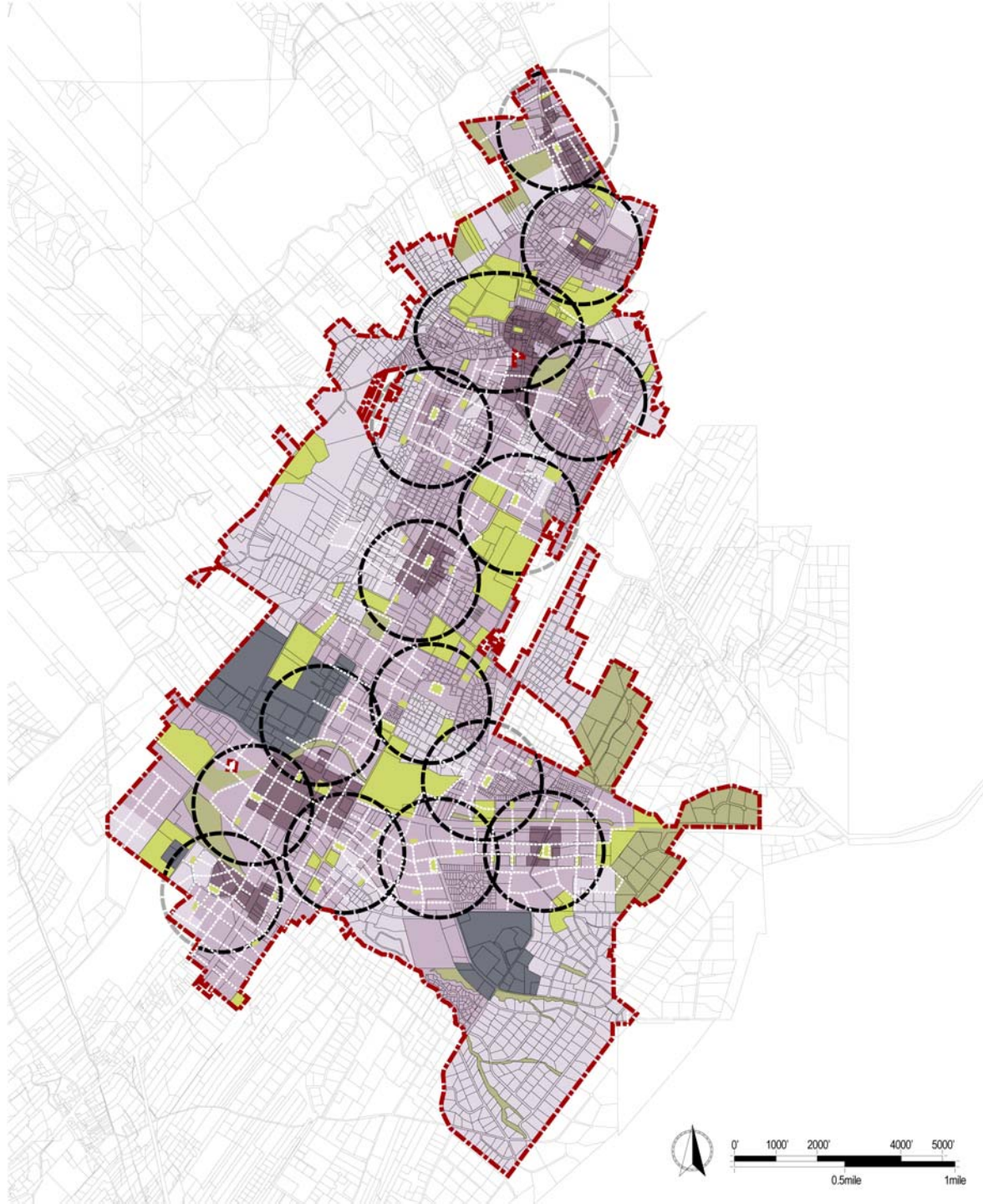
Pedestrian Shed (1/4 mile Radius - 5 Minute Walk)

Linear Pedestrian Shed - a pedestrian shed that is elongated along an important Mixed Use Corridor such as the Historic District. It extends approximately 1/4 mile from each side of the Corridor for the length of its Mixed Use portion.



1. Calibration
 - Synoptic Survey
 - Legal Calibration
 - Code
2. Mapping
 - Sector Plan
 - Regulating Plans
3. Implementation
 - Public Process
 - Administration







Advanced Application of the Transect in Form-Based Coding

Geoff Dyer, Senior Urban Designer, Principal
Placemakers LLC -Calgary

403-234-8711

gdyer@placemakers.com