

Coding to Accommodate New Development in an Evolving Neighborhood

Promoting transit, preserving
opportunity, with the SmartCode



The SmartCode Model

- Categorizes land based on character rather than use
- Assigns parcels to one of six categories, referred to as Transect Zones or “T-Zones”
- Categories range from T1, the most rural, to T6, the most urban
- Defines the necessary metrics for each T-Zone
- Customized to reflect the specific character the community.



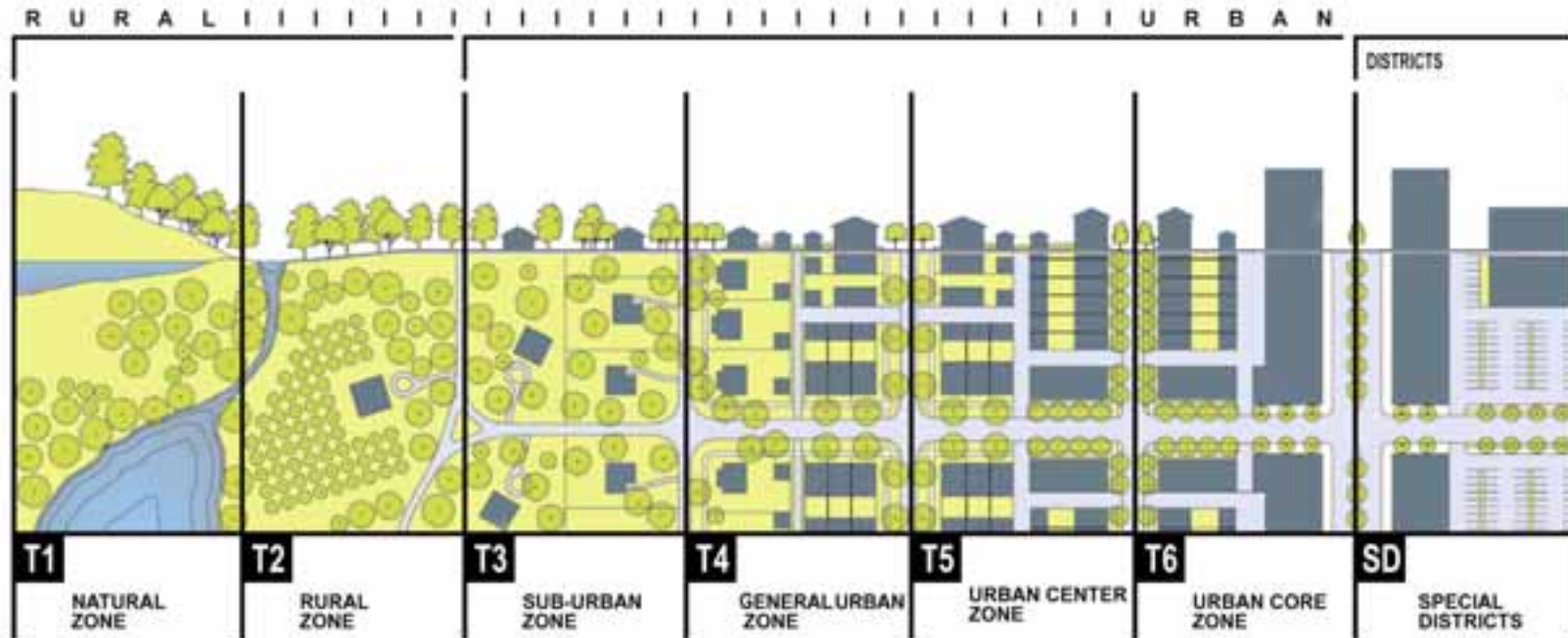
Changing Marginal Areas to Walkable, Mixed Use, Compact, Sustainable Neighborhoods



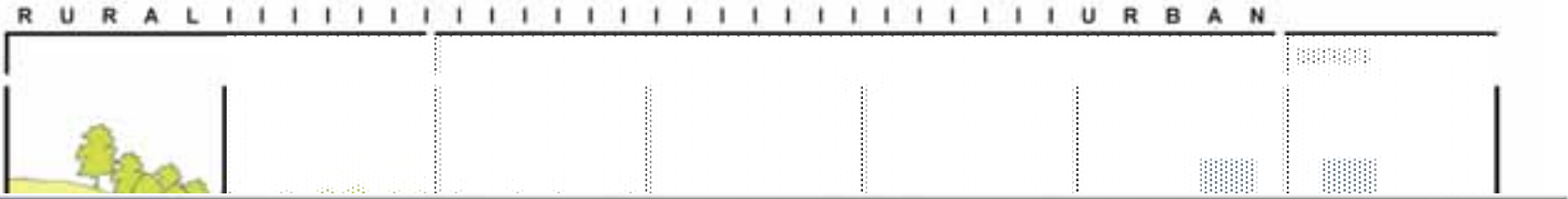
Image by Urban Advantage ~ Steve Price



How T-Zones Work



How T-Zones Work



T-1 NATURAL

- General Character:** Natural landscape with some agricultural use
- Building Placement:** Not applicable
- Frontage Types:** Not applicable
- Typical Building Height:** Not applicable
- Type of Civic Space:** Parks, Greenways

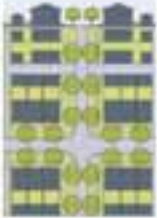




T3



T4



How T-Zones Work



T5

T-5 URBAN CENTER

General Character:

Shops mixed with Townhouses, larger Apartment houses, Offices, workplace, and Civic buildings; predominantly attached buildings; trees within the public right-of-way; substantial pedestrian activity

Building Placement:

Shallow Setbacks or none; buildings oriented to street defining a street wall

Frontage Types:

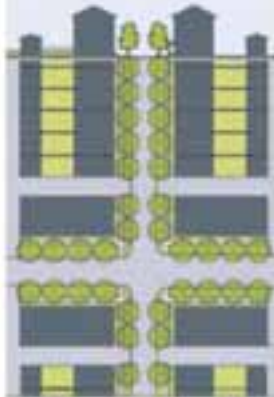
Stoops, Shopfronts, Galleries

Typical Building Height:

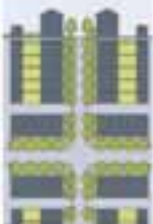
3- to 5-Story with some variation

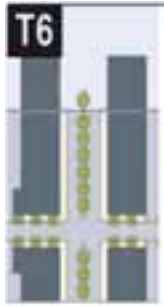
Type of Civic Space:

Parks, Plazas and Squares, median landscaping



T5









Calibrating the Code

- Base residential density
- Size of blocks
- Design standards for streets
 - travel and parking lane widths
 - transit lanes
 - number of lanes
 - effective turning radius
 - sidewalk requirements
 - street tree requirements
- Types of public frontages allowed
- Sidewalk requirements



Calibrating the Code

- Types of private frontages allowed
- Types of civic spaces allowed
- Lot widths
- Lot coverage
- Front, side, and rear setbacks for both principal and outbuildings
- Minimum percentage of frontage that is required to be built out
- Allowable site placement on lot (edgeyard, sideyard, rearyard, courtyard)



Calibrating the Code

- Building height maximums and minimum, expressed in stories
- Minimum and maximum height of stories
- Uses allowed in each zone, by right or by warrant
- Required parking amounts
- Shared parking factors
- Parking placement
- TOD parking reductions



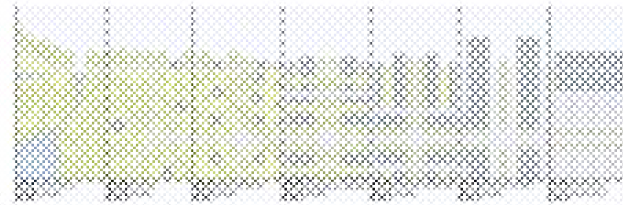
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Note: All requirements in this Table are subject to calibration for local context.

TABLE 04. DENSITY SUMMARY

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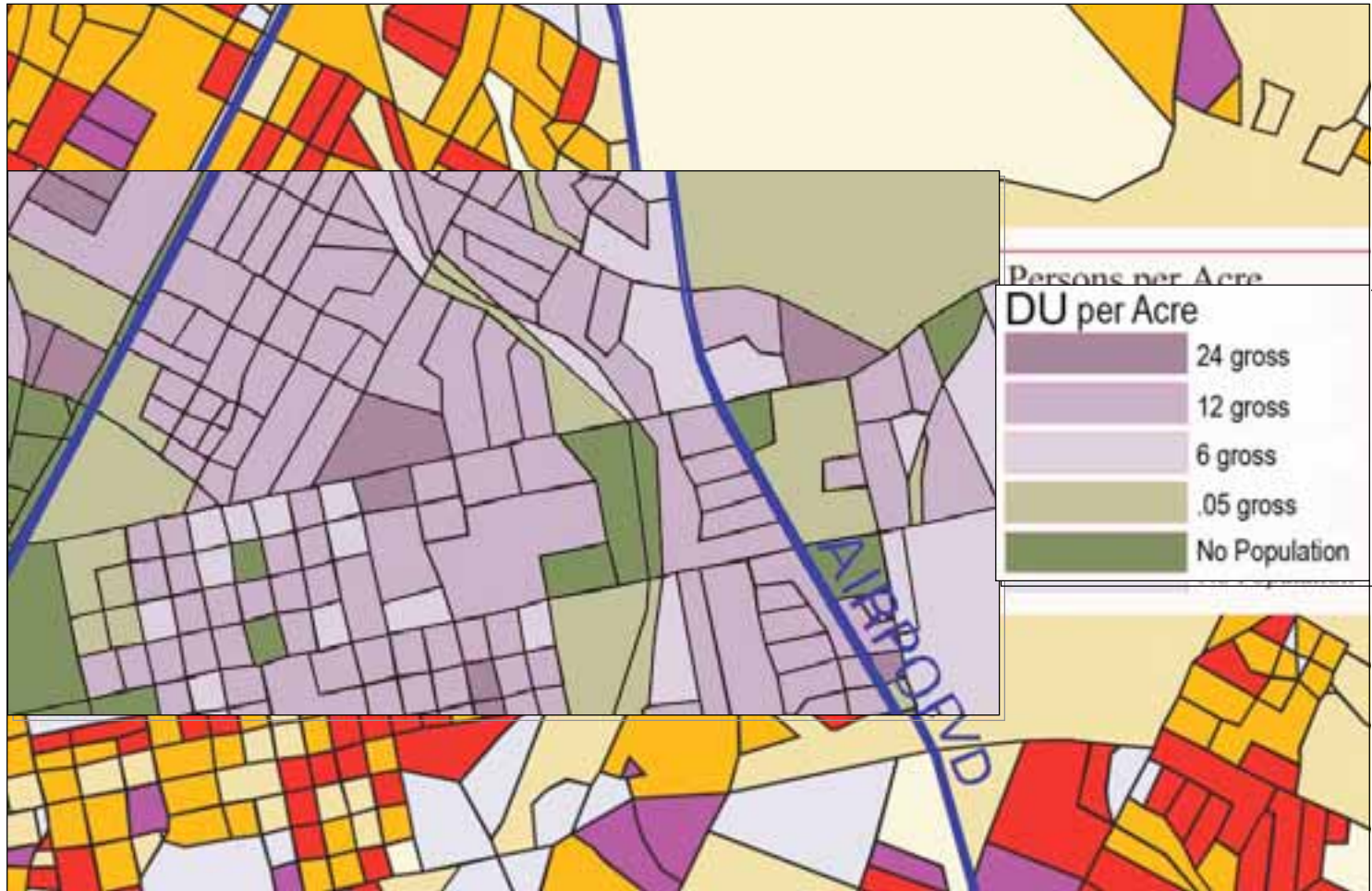


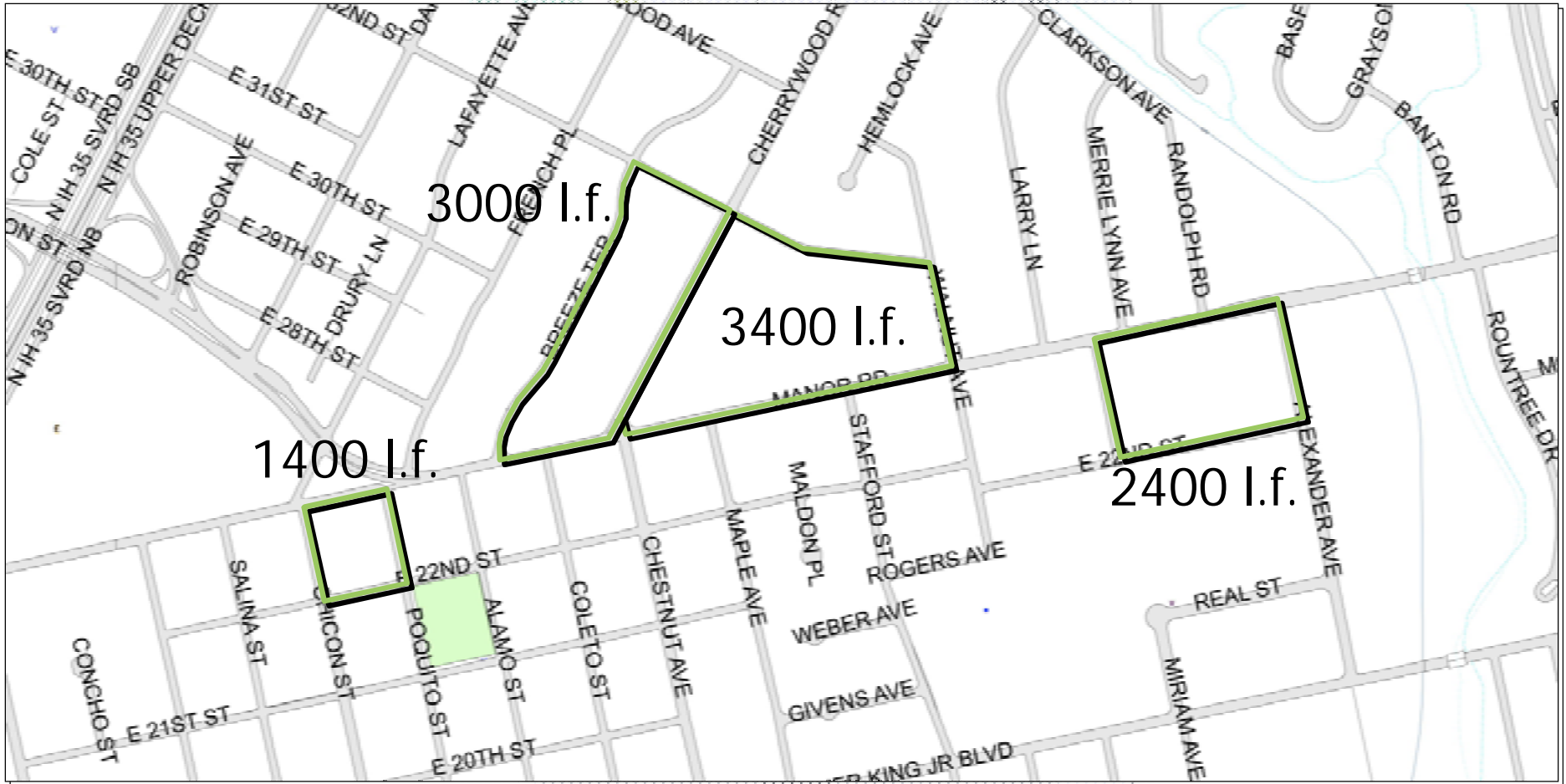
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b. BASE RESIDENTIAL DENSITY (see Section 3.4)

By Right	not applicable	1 unit / 20 ac avg.	2 units / ac. gross	4 units / ac. gross	6 units / ac. gross	12 units / ac. gross
By TDR	by Variance	by Variance	6 units / ac. gross	12 units / ac. gross	24 units / ac. gross	96 units / ac. gross
Other Functions	by Variance	by Variance	10 - 20% min	20 - 30% min	30 - 50% min	50 - 70% min

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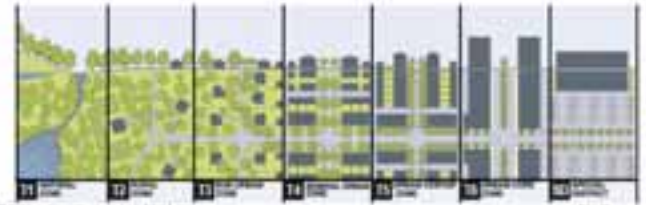


Note: All require-



4. THOROUGHFARES					
	10' Sidewalk	12' Sidewalk	14' Sidewalk	16' Sidewalk	18' Sidewalk
HW	Not Allowed	Not Allowed	Not Allowed	Not Allowed	Not Allowed
BV	Not Allowed	Not Allowed	Not Allowed	Not Allowed	Not Allowed
AV	Not Allowed	Not Allowed	Not Allowed	Not Allowed	Not Allowed
CS	Not Allowed	Not Allowed	Not Allowed	Not Allowed	Not Allowed
DR	Not Allowed	Not Allowed	Not Allowed	Not Allowed	Not Allowed
ST	Not Allowed	Not Allowed	Not Allowed	Not Allowed	Not Allowed
RD	Not Allowed	Not Allowed	Not Allowed	Not Allowed	Not Allowed
Rear Lane	Not Allowed	Not Allowed	Not Allowed	Not Allowed	Not Allowed
Rear Alley	Not Allowed	Not Allowed	Not Allowed	Not Allowed	Not Allowed
Path	Not Allowed	Not Allowed	Not Allowed	Not Allowed	Not Allowed
Passage	Not Allowed	Not Allowed	Not Allowed	Not Allowed	Not Allowed
Bicycle Trail	Not Allowed	Not Allowed	Not Allowed	Not Allowed	Not Allowed
Bicycle Lane	Not Allowed	Not Allowed	Not Allowed	Not Allowed	Not Allowed
Bicycle Route	Not Allowed	Not Allowed	Not Allowed	Not Allowed	Not Allowed

Note: All require-



Scenario	1A	1B	1C	1D	1E	1F
Scenario 1: Single-Family Detached	10' min	10' min	10' min	10' min	10' min	10' min
Scenario 2: Single-Family Attached	10' min	10' min	10' min	10' min	10' min	10' min
Scenario 3: Multi-Family	10' min	10' min	10' min	10' min	10' min	10' min
Scenario 4: Office	10' min	10' min	10' min	10' min	10' min	10' min
Scenario 5: Retail	10' min	10' min	10' min	10' min	10' min	10' min
Scenario 6: Restaurant	10' min	10' min	10' min	10' min	10' min	10' min
Scenario 7: Hotel	10' min	10' min	10' min	10' min	10' min	10' min
Scenario 8: Mixed-Use	10' min	10' min	10' min	10' min	10' min	10' min
Scenario 9: Medium-Density Residential	10' min	10' min	10' min	10' min	10' min	10' min
Scenario 10: High-Density Residential	10' min	10' min	10' min	10' min	10' min	10' min
Scenario 11: Medium-Density Office	10' min	10' min	10' min	10' min	10' min	10' min
Scenario 12: High-Density Office	10' min	10' min	10' min	10' min	10' min	10' min
Scenario 13: Medium-Density Retail	10' min	10' min	10' min	10' min	10' min	10' min
Scenario 14: High-Density Retail	10' min	10' min	10' min	10' min	10' min	10' min
Scenario 15: Medium-Density Restaurant	10' min	10' min	10' min	10' min	10' min	10' min
Scenario 16: High-Density Restaurant	10' min	10' min	10' min	10' min	10' min	10' min
Scenario 17: Medium-Density Hotel	10' min	10' min	10' min	10' min	10' min	10' min
Scenario 18: High-Density Hotel	10' min	10' min	10' min	10' min	10' min	10' min
Scenario 19: Medium-Density Mixed-Use	10' min	10' min	10' min	10' min	10' min	10' min
Scenario 20: High-Density Mixed-Use	10' min	10' min	10' min	10' min	10' min	10' min

F. LOT OCCUPATION							
Lot Width	not applicable	by Warrant	72 ft. min 120 ft. max	18 ft. min 96 ft. max	18 ft. min 180 ft. max	18 ft. min 700 ft. max	
Lot Coverage	not applicable	by Warrant	60% max	70% max	80% max	90% max	



J. PRIVATE FRONTAGES (see Table 7)

Common Yard	not applicable	permitted	permitted	not permitted	not permitted	not permitted
Porch & Fence	not applicable	not permitted	permitted	permitted	not permitted	not permitted
Terrace or Dooryard	not applicable	not permitted	not permitted	permitted	permitted	not permitted
Forecourt	not applicable	not permitted	not permitted	permitted	permitted	permitted
Stoop	not applicable	not permitted	not permitted	permitted	permitted	permitted
Shopfront & Awning	not applicable	not permitted	not permitted	permitted	permitted	permitted
Gallery	not applicable	not permitted	not permitted	permitted	permitted	permitted
Arcade	not applicable	not permitted	not permitted	not permitted	permitted	permitted



Section	Item	1000	2000	3000	4000	5000	
J. PRIVATE FRONTAGES	Common Yard	not applicable	permitted	permitted	not permitted	not permitted	
	Porch & Fence	not applicable	not permitted	permitted	permitted	not permitted	
	Terrace or Dooryard	not applicable	not permitted	not permitted	permitted	permitted	
	Forecourt	not applicable	not permitted	not permitted	permitted	permitted	
	Stoop	not applicable	not permitted	not permitted	permitted	permitted	
	Shopfront & Awning	not applicable	not permitted	not permitted	permitted	permitted	
	Gallery	not applicable	not permitted	not permitted	permitted	permitted	
	Arcade	not applicable	not permitted	not permitted	not permitted	permitted	
	K. SIGNAGE						
	L. PUBLIC UTILITIES						

Note: All require...

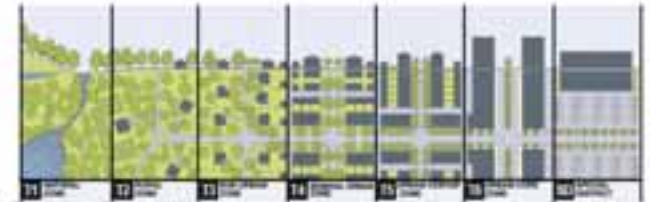


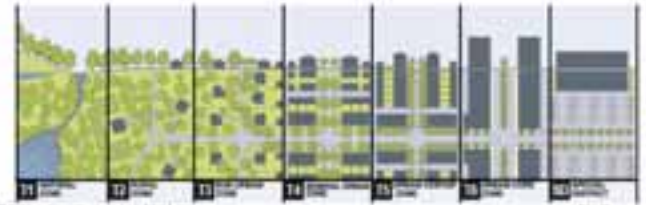
Table with multiple sections and columns, including 'Table 14', 'Table 15', and 'Table 16'. It contains various numerical values and categorical data related to building codes and zoning regulations.

k. BUILDING CONFIGURATION (see Table 8)

Principal Building	not applicable	2 Stories max	2 Stories max	3 Stories max, 2 min	5 Stories max, 2 min	8 Stories max, 2 min
Outbuilding	not applicable	2 Stories max	2 Stories max	2 Stories max	2 Stories max	not applicable

Table with 7 columns and 10 rows, containing detailed data for building types and their associated metrics.

Note: All require...

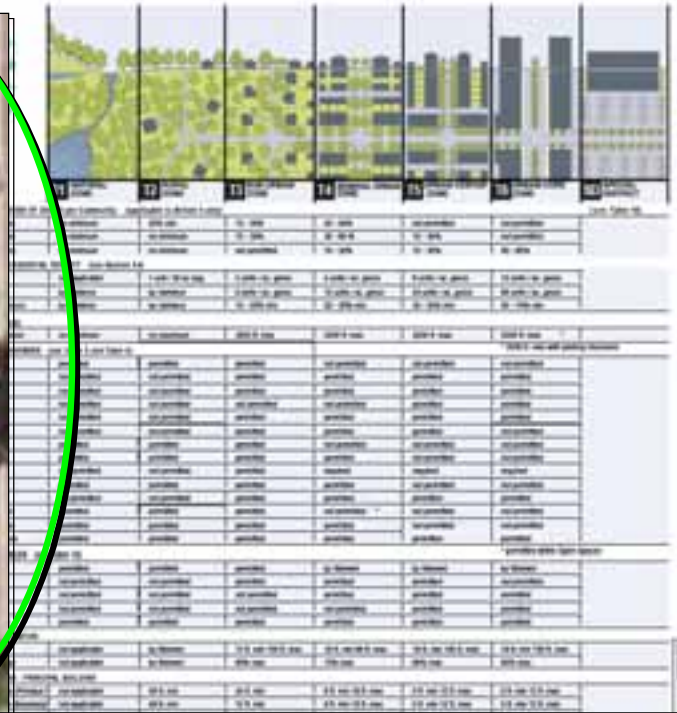


Code	11	12	13	14	15	16
Maximum Building Height	10' max	15' max	20' max	25' max	30' max	35' max
Maximum Building Footprint	10' x 10'	15' x 15'	20' x 20'	25' x 25'	30' x 30'	35' x 35'
Maximum Building Area	100 sq ft	225 sq ft	400 sq ft	625 sq ft	900 sq ft	1225 sq ft
Maximum Building Volume	100 cu ft	337.5 cu ft	800 cu ft	1562.5 cu ft	2700 cu ft	4812.5 cu ft
Maximum Building Density	10 units/acre	22.5 units/acre	40 units/acre	62.5 units/acre	90 units/acre	122.5 units/acre

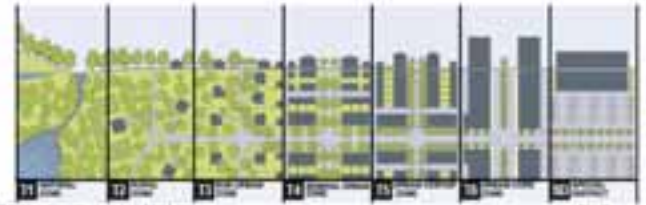
I. BUILDING FUNCTION (see Table 10 & Table 12)							
Residential	not applicable	restricted use	restricted use	limited use	open use	open use	
Lodging	not applicable	restricted use	restricted use	limited use	open use	open use	
Office	not applicable	restricted use	restricted use	limited use	open use	open use	
Retail	not applicable	restricted use	restricted use	limited use	open use	open use	

Building Height	10' max	15' max	20' max	25' max	30' max	35' max
Maximum Building Footprint	10' x 10'	15' x 15'	20' x 20'	25' x 25'	30' x 30'	35' x 35'
Maximum Building Area	100 sq ft	225 sq ft	400 sq ft	625 sq ft	900 sq ft	1225 sq ft
Maximum Building Volume	100 cu ft	337.5 cu ft	800 cu ft	1562.5 cu ft	2700 cu ft	4812.5 cu ft
Maximum Building Density	10 units/acre	22.5 units/acre	40 units/acre	62.5 units/acre	90 units/acre	122.5 units/acre





g. SETBACKS - PRINCIPAL BUILDING							
Front Setback (Principal)	not applicable	48 ft. min	24 ft. min	6 ft. min 18 ft. max	0 ft. min 12 ft. max	0 ft. min 12 ft. max	
Front Setback (Secondary)	not applicable	48 ft. min	12 ft. min	6 ft. min 18 ft. max	0 ft. min 12 ft. max	0 ft. min 12 ft. max	
Side Setback	not applicable	96 ft. min	12 ft. min	0 ft. min	0 ft. min 24 ft. max	0 ft. min 24 ft. max	
Rear Setback	not applicable	96 ft. min	12 ft. min	3 ft. min *	3 ft. min *	0 ft. min	
Frontage Buildout	not applicable	not applicable	40% min	60% min	80% min	80% min	
h. SETBACKS - OUTBUILDING							
Front Setback	not applicable	20 ft. min +bldg setback	20 ft. min +bldg setback	24 ft. min +bldg setback	40 ft. max from rear prop	not applicable	
Side Setback	not applicable	3 ft. or 6 ft.	3 ft. or 6 ft.	0 ft. min or 3 ft.	0 ft. min	not applicable	
Rear Setback	not applicable	3 ft. min	3 ft. min	3 ft.	3 ft. max	not applicable	



Zone	Min. Density	Max. Density	Min. Height	Max. Height	Min. Lot Area	Min. Lot Width	Min. Lot Depth
1.1	10 units/acre	20 units/acre	10 ft	35 ft	5,000 sq ft	50 ft	100 ft
1.2	15 units/acre	30 units/acre	10 ft	35 ft	4,000 sq ft	40 ft	100 ft
1.3	20 units/acre	40 units/acre	10 ft	35 ft	3,000 sq ft	30 ft	100 ft
1.4	25 units/acre	50 units/acre	10 ft	35 ft	2,500 sq ft	25 ft	100 ft
1.5	30 units/acre	60 units/acre	10 ft	35 ft	2,000 sq ft	20 ft	100 ft
1.6	35 units/acre	70 units/acre	10 ft	35 ft	1,500 sq ft	15 ft	100 ft
1.7	40 units/acre	80 units/acre	10 ft	35 ft	1,000 sq ft	10 ft	100 ft

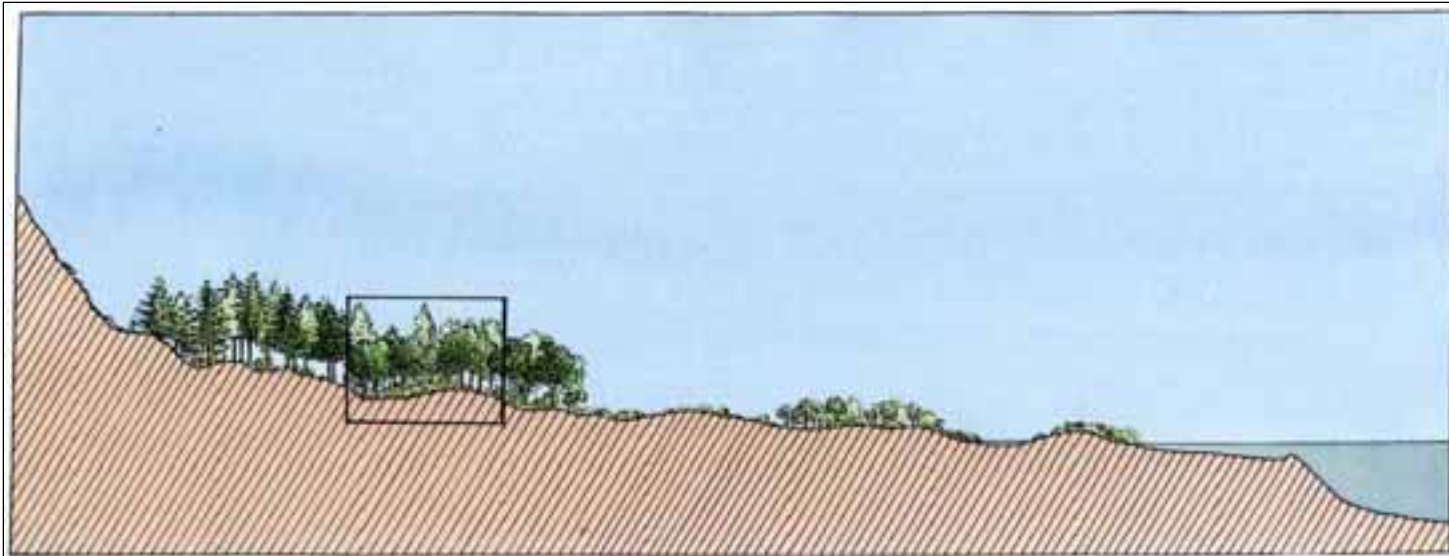
i. BUILDING DISPOSITION (see Table 9)

Disposition	Zone 1.1	Zone 1.2	Zone 1.3	Zone 1.4	Zone 1.5	Zone 1.6	Zone 1.7
Edgeyard	permitted	permitted	permitted	permitted	not permitted	not permitted	
Sideryard	not permitted	not permitted	not permitted	permitted	permitted	not permitted	
Rearyard	not permitted	not permitted	not permitted	permitted	permitted	permitted	
Courtyard	not permitted	not permitted	not permitted	not permitted	permitted	permitted	

Disposition	Zone 1.1	Zone 1.2	Zone 1.3	Zone 1.4	Zone 1.5	Zone 1.6	Zone 1.7
Front	permitted	permitted	permitted	permitted	permitted	permitted	permitted
Side	permitted	permitted	permitted	permitted	permitted	permitted	permitted
Rear	permitted	permitted	permitted	permitted	permitted	permitted	permitted



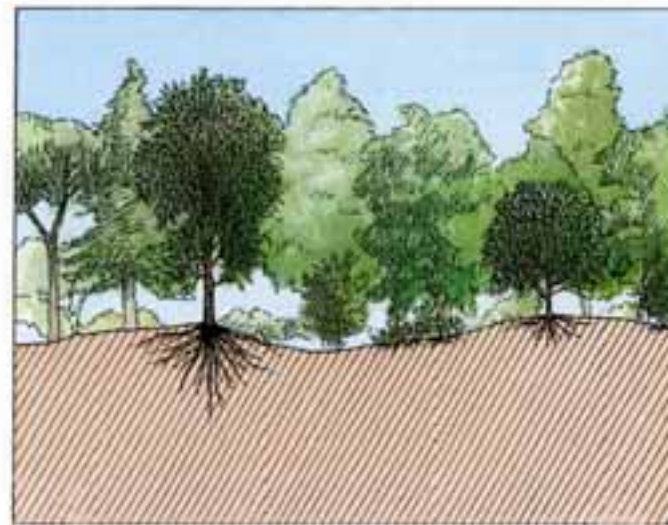




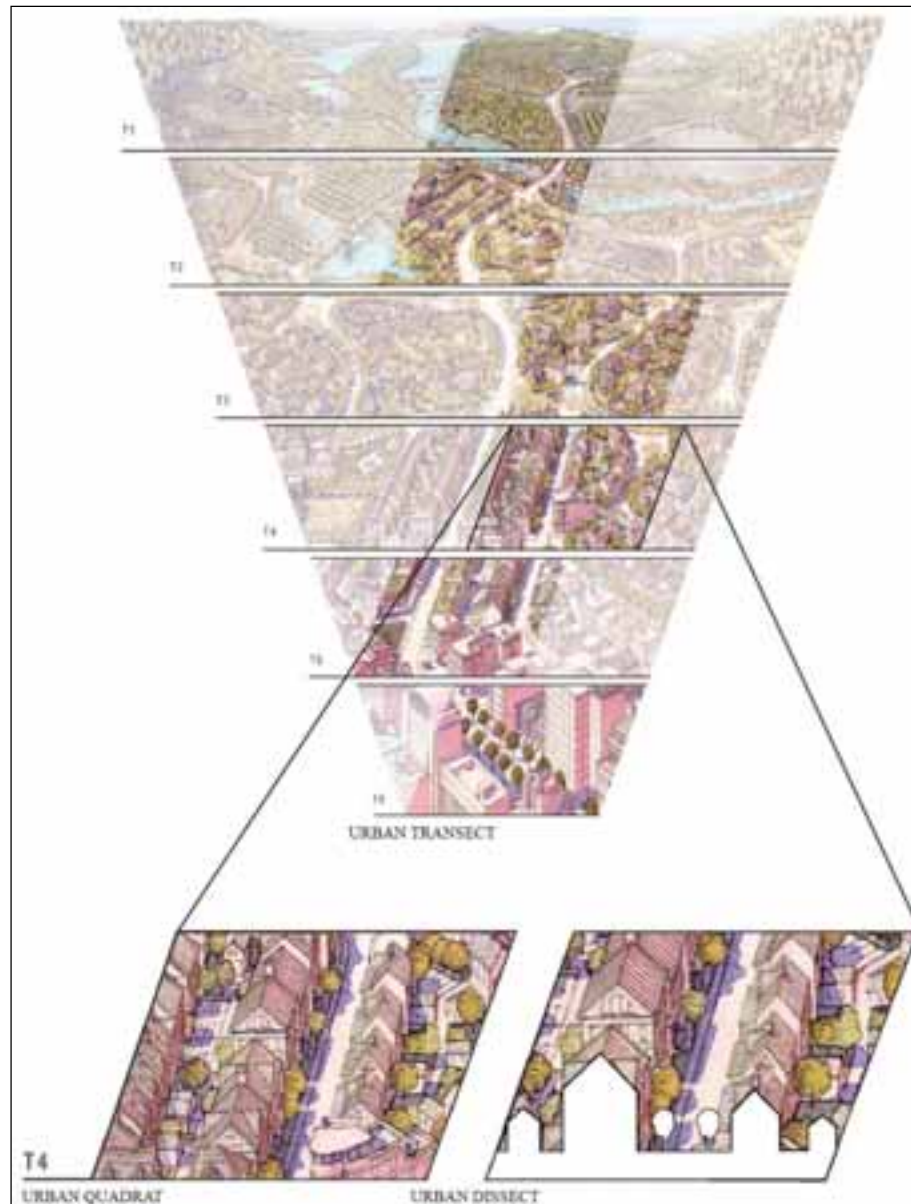
NATURAL TRANSECT



NATURAL QUADRAT



NATURAL DISSECT



T3 Hyde Park



E 42ND ST & AVENUE G

Average Block Dimension	1,600
Units per Acre	4
Average Lot Size	68' x 130'
Average Lot Coverage	50%



PUBLIC FRONTAGE

Public Frontage Type	Street
ROW Width	78
Moving Lanes	2
Parking Lanes	2
Pavement Width	38'
Curb Type	6" raised
Curb Radius	15'
Sidewalk	5'
Planter Type	tree lawn
Planter Width	16'



PRIVATE FRONTAGE

Private Frontage Type	Common yard
Principal building height	2 max.
Outbuilding height	1 max.
Building disposition	Edgeward
Lot size	50' - 120' wide
Lot coverage	60% max
Build out percentage @ sidewalk	60% max.
Front Setback	20' min.
Side Setback	16' total
Rear Setback	12'
Outbuilding Setback	3'
Ground Level Function	Residential
Upper Level Function	Residential

T4 Clarksville



W LYNN ST @ W 12TH ST

Average Block Dimension	2,000
Units per Acre	8
Average Lot Size	40' x 100'
Average Lot Coverage	70%



PUBLIC FRONTAGE

Public Frontage Type	Street
ROW Width	36'
Moving Lanes	2
Parking Lanes	2
Pavement Width	24'
Curb Type	6" raised
Curb Radius	10'
Sidewalk	5'
Planter Type	Tree Lawn
Planter Width	episodic
Planting Pattern	episodic



PRIVATE FRONTAGE

Private Frontage Type	CY, P&F, SF
Principal building height	2.5
Outbuilding height	1.5
First floor above grade	0 - 24"
Building disposition	EY, SY, RY
Build out percentage @ sidewalk	60% min.
Front Setback	0 - 20'
Side Setback	0 min., 8' total max.
Rear Setback	3' min.
Outbuilding Setback	0'
Ground Level Function	Residential, Commercial
Upper Level Function	Residential

T5 6th Street



E 6TH ST @ TRINITY ST

Average Block Dimension	300' x 300'
Commercial SF	68,000 sf
Units per Acre	34
Average Lot Size	24' x 128'
Average Lot Coverage	80%



PUBLIC FRONTAGE

Public Frontage Type	Commercial Street
ROW Width	80'
Moving Lanes	4: one way
Parking Lanes	1 ea side
Pavement Width	60'
Curb Type	6" raised
Curb Radius	10'
Sidewalk	10'
Planter Type	tree well
Planter Width	4'
Planting Pattern	20' o.c. at corners only



PRIVATE FRONTAGE

Private Frontage Type	Shopfront & Awning
Principal building height	4 max.
Outbuilding height	2 max.
First floor above grade	0
Building disposition	rear yard
Lot size	16' - 72'
Lot coverage	100 max.
Build out percentage @ sidewalk	100%
Front Setback	0
Side Setback	0
Rear Setback	0
Ground Level Function	Retail
Upper Level Function	Office/Residential

