Coding to Accommodate New Development in an Evolving Neighborhood

Promoting transit, preserving opportunity, with the SmartCode







The SmartCode Model

- Categorizes land based on character rather than use
- Assigns parcels to one of six categories, referred to as Transect Zones or "T-Zones"
- Categories range from T1, the most rural, to T6, the most urban
- Defines the necessary metrics for each T-Zone
- Customized to reflect the specific character the community.







Changing Marginal Areas to Walkable, Mixed Use, Compact, Sustainable Neighborhoods



Image by Urban Advantage ~ Steve Price





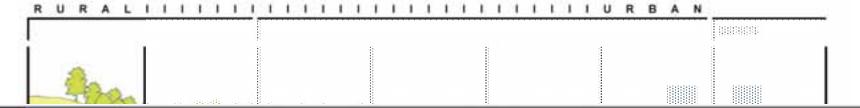














T-1 NATURAL

General Character: Natural landscape with some agricultural use

Building Placement: Not applicable
Frontage Types: Not applicable
Typical Building Height: Not applicable
Type of Civic Space: Parks, Greenways







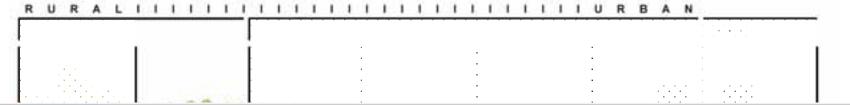














T-2 RURAL

General Character: Primarily agricultural with woodland & wetland and scattered

buildings

Building Placement: Variable Setbacks
Frontage Types: Not applicable

Typical Building Height: 1- to 2-Story

Type of Civic Space: Parks, Greenways







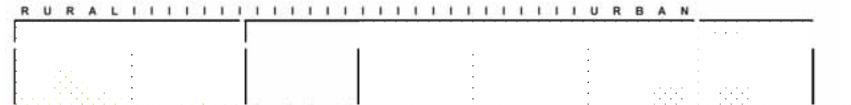














T-3 SUB-URBAN

General Character: Lawns, and landscaped yards surrounding detached single-family

houses; pedestrians occasionally

Building Placement: Large and variable front and side yard Setbacks

Frontage Types: Porches, fences, naturalistic tree planting

Typical Building Height: 1- to 2-Story with some 3-Story

Type of Civic Space: Parks, Greenways







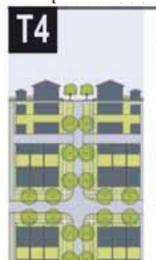












T-4 GENERAL URBAN

General Character: Mix of Houses, Townhouses & small Apartment buildings, with

scattered Commercial activity; balance between landscape and

buildings; presence of pedestrians

Building Placement: Shallow to medium front and side yard Setbacks

Frontage Types: Porches, fences, Dooryards

Typical Building Height: 2- to 3-Story with a few taller Mixed Use buildings

Type of Civic Space: Squares, Greens







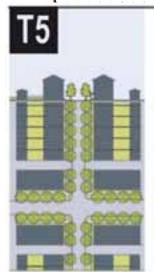












T-5 URBAN CENTER

General Character: Shops mixed with Townhouses, larger Apartment houses, Offices,

workplace, and Civic buildings; predominantly attached buildings; trees within the public right-of-way; substantial pedestrian

activity

Building Placement: Shallow Setbacks or none; buildings oriented to street defining

a street wall

Frontage Types: Stoops, Shopfronts, Galleries

Typical Building Height: 3- to 5-Story with some variation

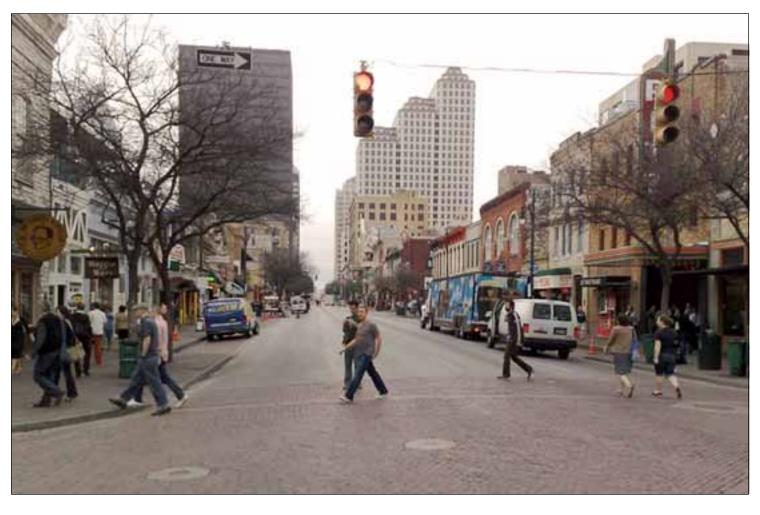
Type of Civic Space: Parks, Plazas and Squares, median landscaping







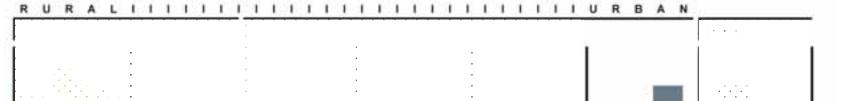


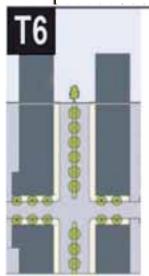












T-6 URBAN CORE

General Character: Medium to high-Density Mixed Use buildings, entertainment,

Civic and cultural uses. Attached buildings forming a continuous

street wall; trees within the public right-of-way; highest pedestrian

and transit activity

Building Placement: Shallow Setbacks or none; buildings oriented to street, defining

a street wall

Frontage Types:

Stoops, Dooryards, Forecourts, Shopfronts, Galleries, and Arcades

Typical Building Height: 4-plus Story with a few shorter buildings

Type of Civic Space: Parks, Plazas and Squares; median landscaping







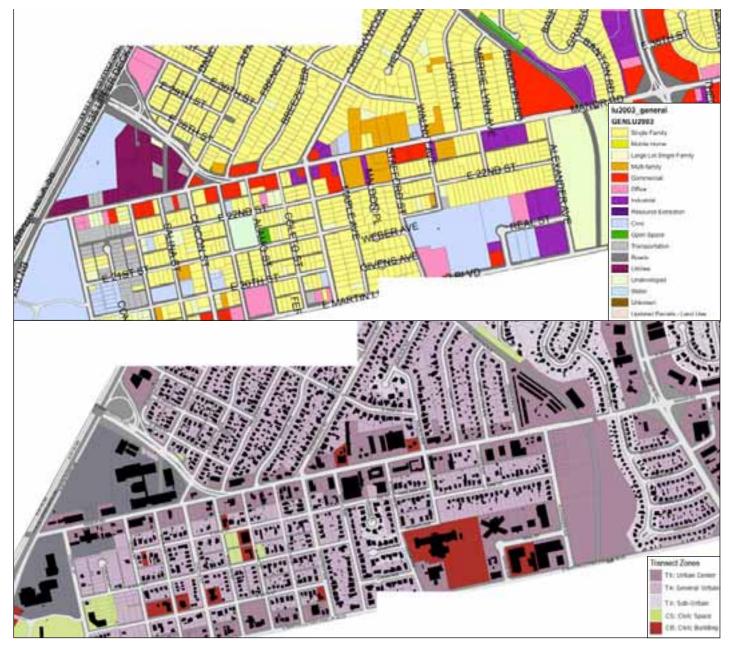


























Calibrating the Code

- Base residential density
- Size of blocks
- Design standards for streets
 - travel and parking lane widths
 - transit lanes
 - number of lanes
 - effective turning radius
 - sidewalk requirements
 - street tree requirements
- Types of public frontages allowed
- Sidewalk requirements







Calibrating the Code

- Types of private frontages allowed
- Types of civic spaces allowed
- Lot widths
- Lot coverage
- Front, side, and rear setbacks for both principal and outbuildings
- Minimum percentage of frontage that is required to be built out
- Allowable site placement on lot (edgeyard, sideyard, rearyard, courtyard)







Calibrating the Code

- Building height maximums and minimum, expressed in stories
- Minimum and maximum height of stories
- Uses allowed in each zone, by right or by warrant
- Required parking amounts
- Shared parking factors
- Parking placement
- TOD parking reductions







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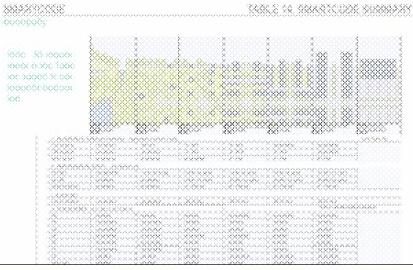
Note: All requirements in this Table are subject to calibration for local context.



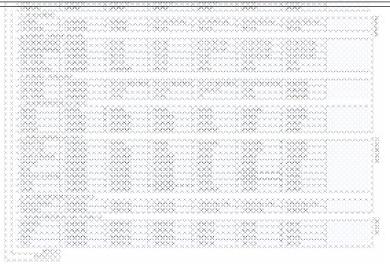








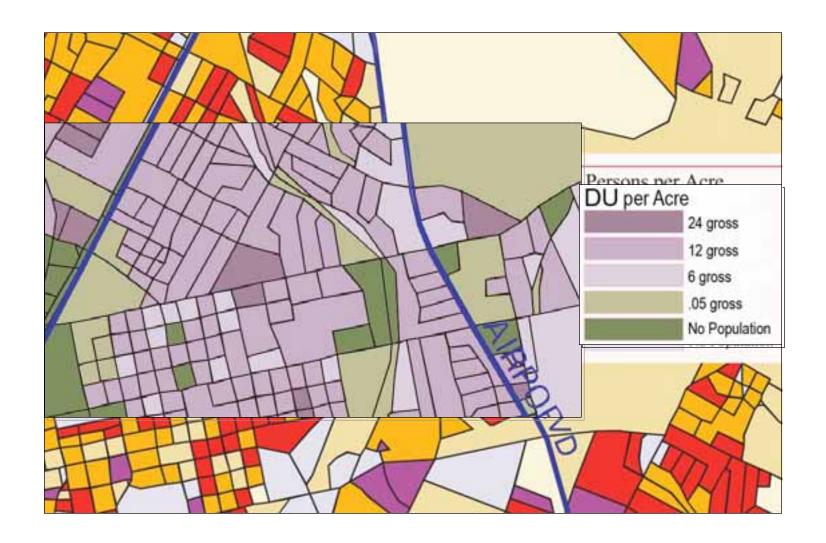
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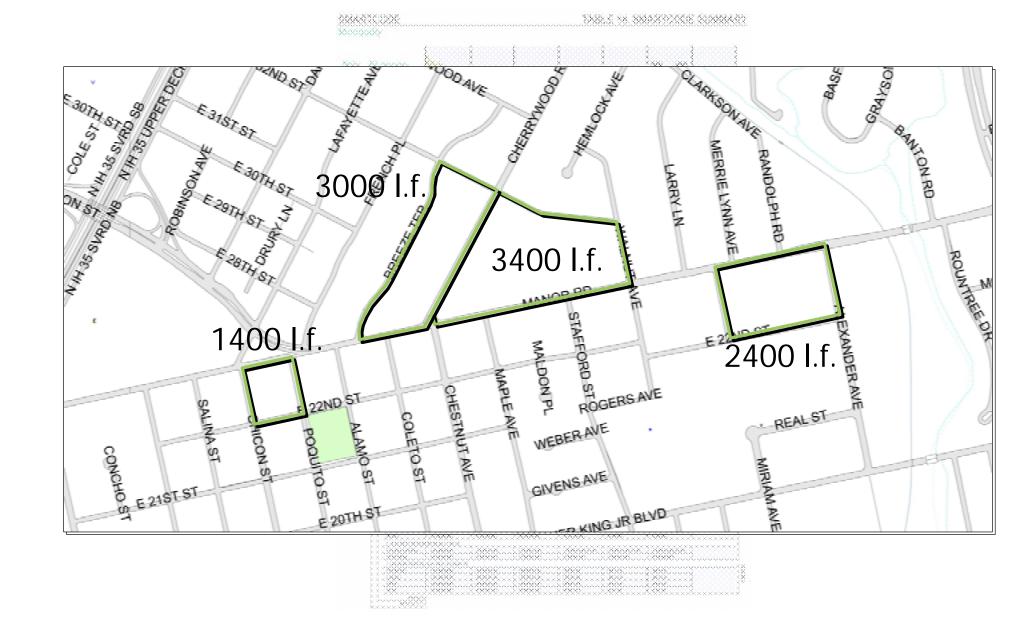
















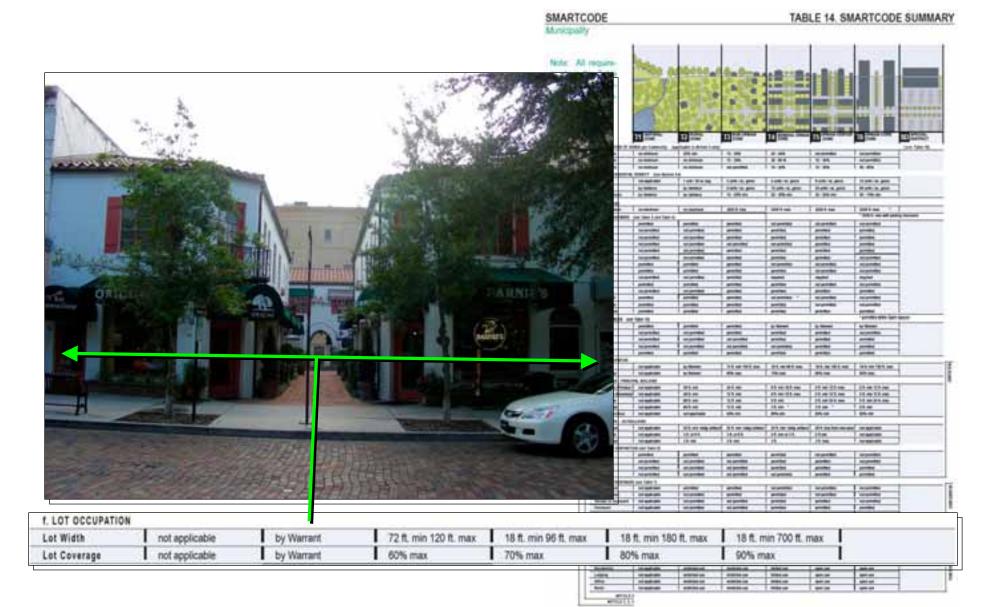


















SMARTCODE

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Gallery	not applicable	not permitted	not sermitted	permitted	permitted	permitted
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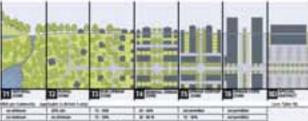












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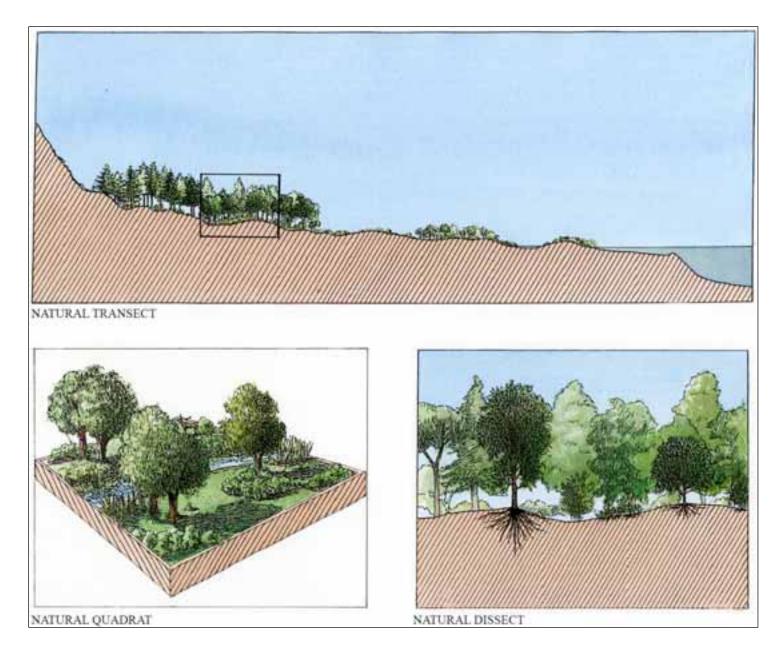


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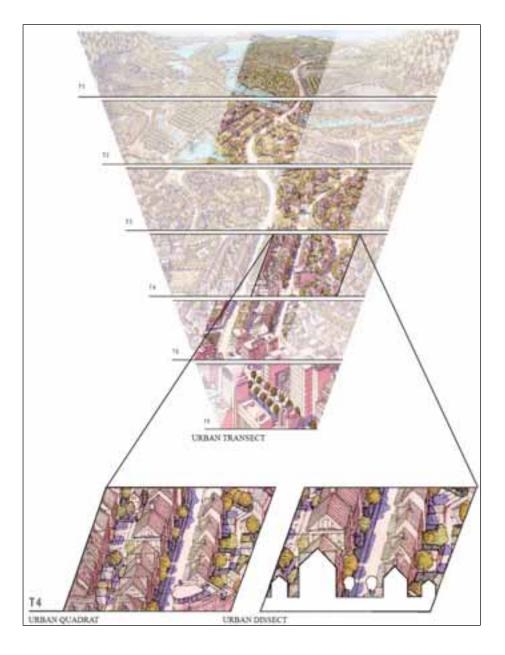


















T3 Hyde Park



E 42ND ST & AVENUE G

Average Block Dimension	1,600
Units per Acre	4
Average Lot Size	68'x 130'
Average Lot Coverage	50%



PUBLIC FRONTAGE

Public Frontage Type	Street
ROW Width	78
Moving Lanes	2
Parking Lanes	2
Pavement Width	38"
Curb Type	6" raised
Curb Radius	15"
Sidewalk	5'
Planter Type	tree lawn
Planter Width	16'



PRIVATE FRONTAGE

Private Frontage Type	Common yard	
Principal building height	2 max.	
Outbuilding height	1 max.	
Building disposition	Edgeyard	
Lot size	50'-120' wide	
Lot coverage	60% max	
Build out percentage @ sidewalk	60% max. 20' min. 16' total	
Front Setback		
Side Setback		
Rear Setback	12	
Outbuilding Setback	3'	
Ground Level Function	Residential	
Upper Level Function	Residential	







T4 Clarksville



W LYNN ST @ W 12TH ST

Average Block Dimension	2,000 8 40' x 100'	
Units per Acre		
Average Lot Size		
Average Lot Coverage	70%	



PUBLIC FRONTAGE

Public Frontage Type			
ROW Width			
Moving Lanes	2		
Parking Lanes	2		
Pavement Width	24"		
Curb Type	6"raised		
Curb Radius			
Sidewalk			
Planter Type	Tree Lawn		
Planter Width	episodic episodic		episodic
Planting Pattern			



PRIVATE FRONTAGE

Private Frontage Type	CY, P&F, SF	
Principal building height	2.5	
Outbuilding height	1.5	
First floor above grade	0-24"	
Building disposition	EY, SY, RY	
Build out percentage @ sidewalk	60% min.	
Front Setback	0 - 20'	
Side Setback	0 min., 8' total max.	
Rear Setback	3' min.	
Outbuilding Setback	0'	
Ground Level Function	Residential, Com- mercial	
Upper Level Function	Residential	







T5 6th Street



E 6TH ST @ TRINITY ST

Average Block Dimension	SF 68,000 sf	
Commercial SF		
Units per Acre		
Average Lot Size	24'x 128'	
Average Lot Coverage	80%	



PUBLIC FRONTAGE

Public Frontage Type	Commercial Street	
ROW Width	80'	
Moving Lanes	4: one way	
Parking Lanes	1 ea side	
Pavement Width	60'	
Curb Type	6" raised	
Corb Radius	10'	
Sidewalk	10"	
Planter Type	tree well	
Planter Width	4'	
Planting Pattern	20' o.c. at corners only	



PRIVATE FRONTAGE

Shopfront & Awning	Private Frontage Type	
4 max.	Principal building height	
2 max.	Outbuilding height	
0	First floor above grade	
rear yard	Building disposition	
16'-72'	Lot size	
100 max.	Lot coverage	
100%	Build out percentage @ sidewalk	
0	Front Setback	
0	Side Setback	
0	Rear Setback	
Retail	Ground Level Function	
Office/Residential	Upper Level Function	





