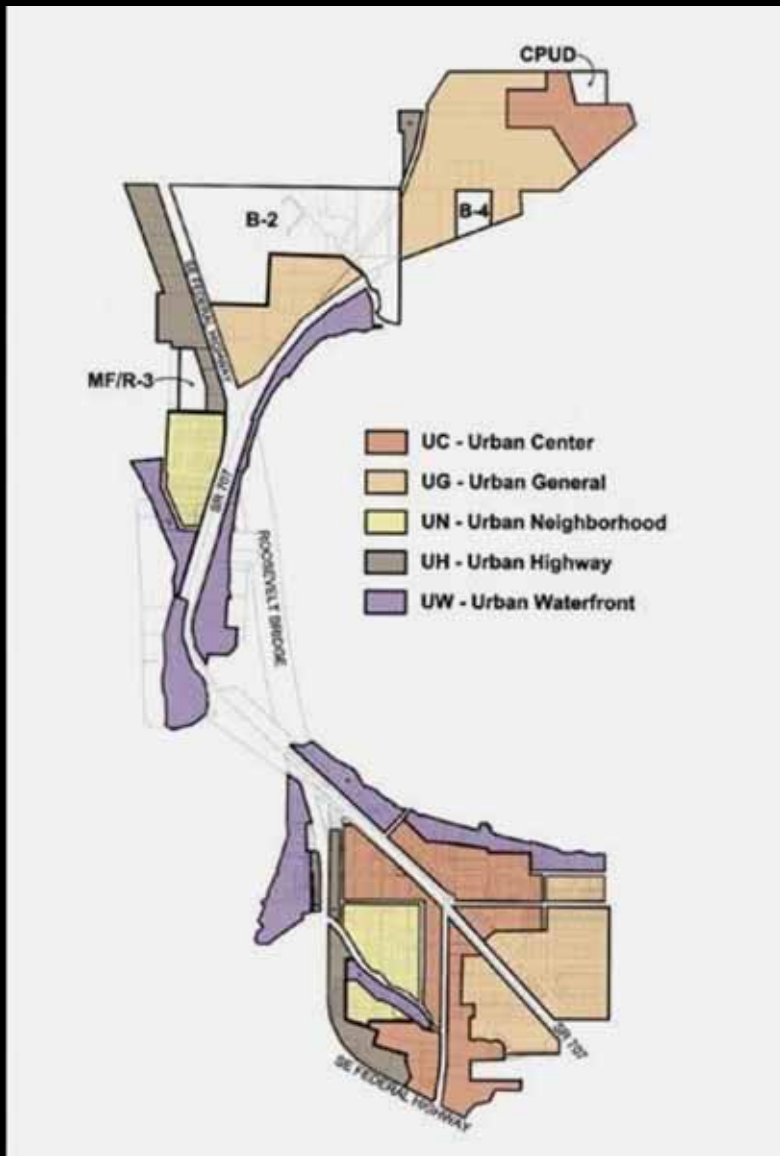


Incentive Mechanisms for Form Based Codes

Presented by:
James D. Hill, AIA, AICP

CNU XVI - Austin, Texas

Stuart Urban Code



Stuart Urban Code

- Promote residential in the downtown
 - Additional story permitted if > 50% residential
- Ease parking requirements
 - "Old Downtown" exempt
 - Reduced parking ratios
 - On street parking counts toward total
 - Residential in mixed use: one free floor
 - Payment in lieu of parking for up to 50%

McKinney Downtown Plan



McKINNEY Gateway
 Planning Group
 101 South Ave. Ste 200
 McKinney, Texas 75069
 (972) 481-4888
 www.gatewayplanning.com

McKINNEY TOWN CENTER STUDY - AN ILLUSTRATION OF PREFERRED CONCEPTS FROM WORKSHOP NO. 1
 McKinney, Texas
 March 2007

LEGEND

- EXISTING
- PROPOSED
- PUBLIC PARKING
- TRANSITION ZONE
- 1/4 MILE SQUARE BLOCKS

McKINNEY CONCEPTS

1. REINFORCE HISTORIC CORNER
2. IMPROVE PARKING - SOUTH
3. IMPROVE PARKING - NORTH
4. IMPROVE PARKING
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McKINNEY CONCEPTS

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McKINNEY CONCEPTS

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Parking Cost



Mixed Use Code

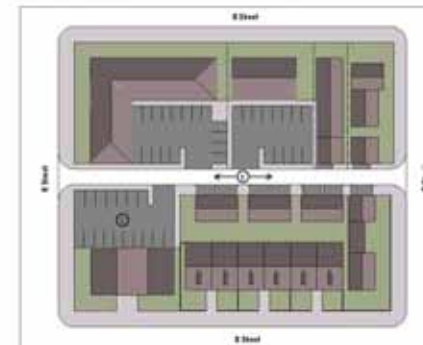
Georgetown, Texas



Georgetown Mixed Use Code

- Applies to mixed use nodes at major intersections
- Allows conventional highway frontage
- Incentives for mixed use subdistricts:
 - Higher densities and intensities
 - Regional stormwater detention
 - City participation for infrastructure
 - Parking management area

UN- Urban Neighborhood Example



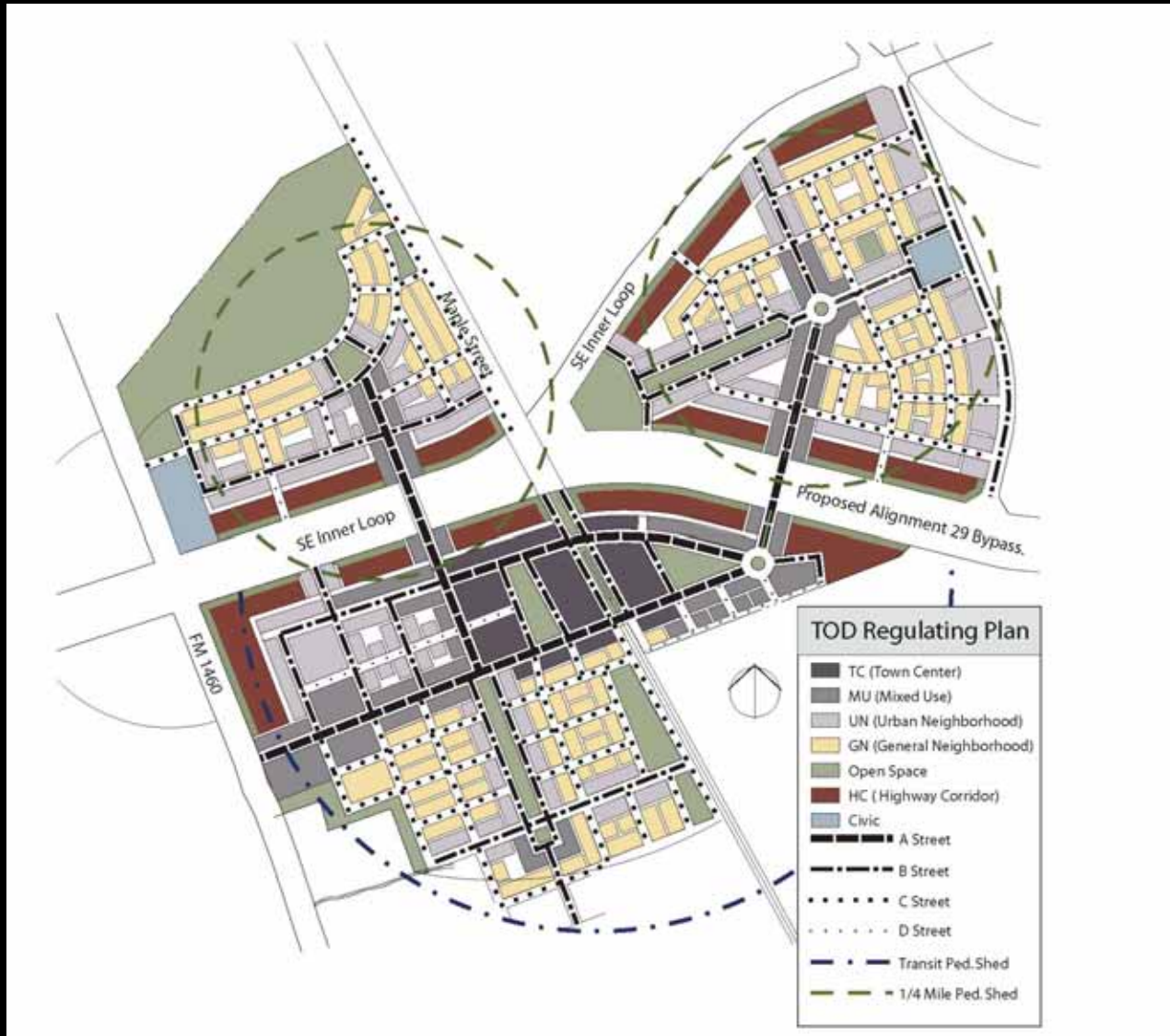
Code Summary

- Permitted Uses: See (Figure 4.11.051)
- Density: 10/20 Units per acre (Figure 4.11.052)
- Lot Coverage: 70% (Figure 4.11.052)
- Building Height: 45 (Figure 4.11.052)
- Front Build-To Line (Figure 4.11.061)
5'-15' for B Street
20' for C Street
- Side and Rear Setbacks (Figure 4.11.061)
Side: 0' Interior/5'-15' corner lot for B Street
5' Interior/20' corner lot for C Street
Rear: 5' for B Street
10' for C Street / 5' for detached garage
- Parking Setback: (Figure 4.11.061)
40' on B Street
40' on C Street
- Curb Cuts: (Figure 4.11.061)
0 on B Street
150' on C Street
- Special Conditions:
1. Alley is required if any lot is narrower than 50' (4.11.040.D.3)
 2. Garage Apartments are permitted; do not count toward density. (Fig. 4.11.051 (3))
 3. Surface parking less than 40' from the street lot line only on D or E Streets. (Fig. 4.11.061)

Georgetown Mixed Use Code



Georgetown Mixed Use Code



Summary

- Code cannot contradict the market
- Infill redevelopment remains very difficult regardless of the code
- Conventional suburban codes provide an inherent disincentive
- Sometimes, incentive has to rise to the level of subsidy