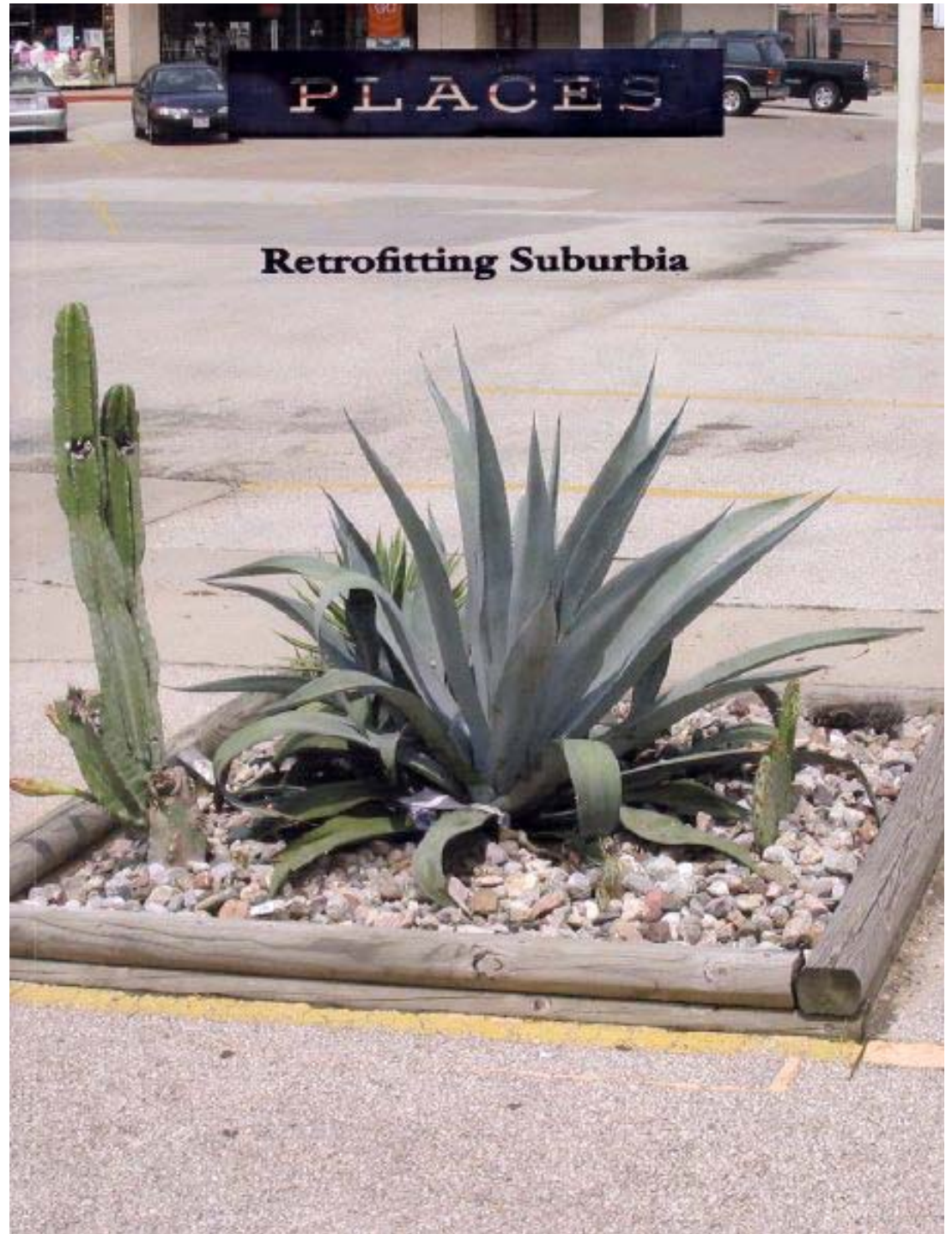
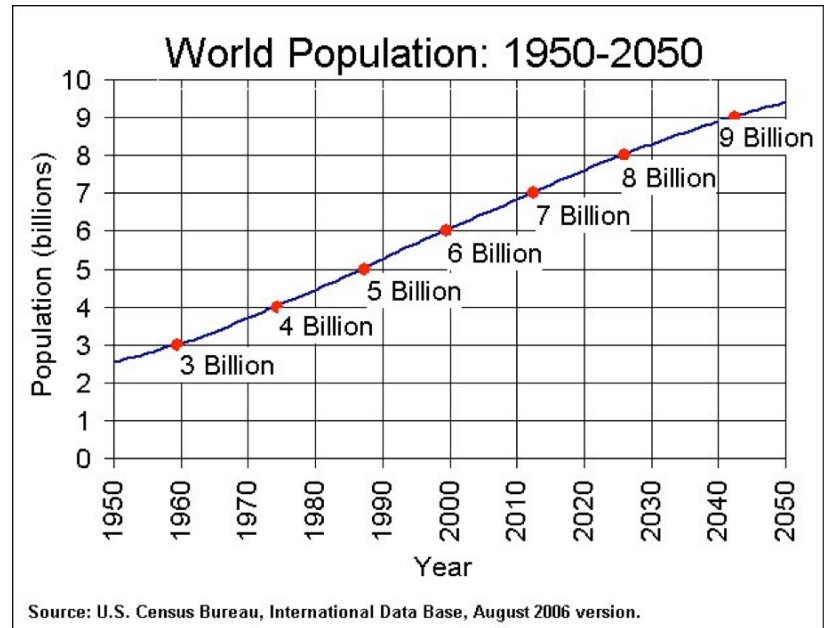


Ellen Dunham-Jones
Director, Architecture Program
Georgia Institute of Technology





Where will half again as many people live and work in 2050?
Metro Atlanta chops down an avg. of 54 acres of trees/day



Before and After: Liner strategies
Duany Plater-Zyberk, Apollo Beach-strip mall

EXISTING CONDITIONS



PROPOSED



Before and After: Scrape and re-build
Duany Plater-Zyberk, Mashpee Commons - shopping center



Before and After: Liner strategies
Duany Plater-Zyberk, Apollo Beach-strip mall

EXISTING CONDITIONS



PROPOSED

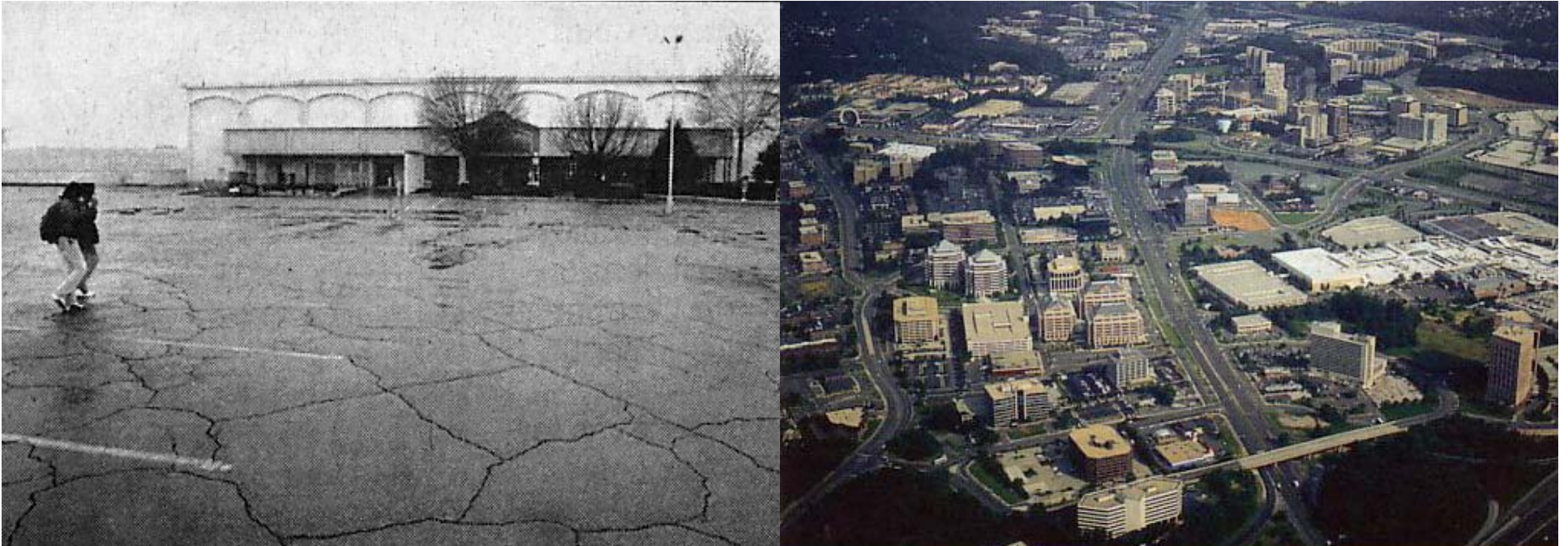


Urban not Suburban

- Reducing Vehicle Miles Traveled (VMT)
- Spatial integration of cars, people, and buildings (instead of their separation)
- Creation of public space (as opposed to communal space)

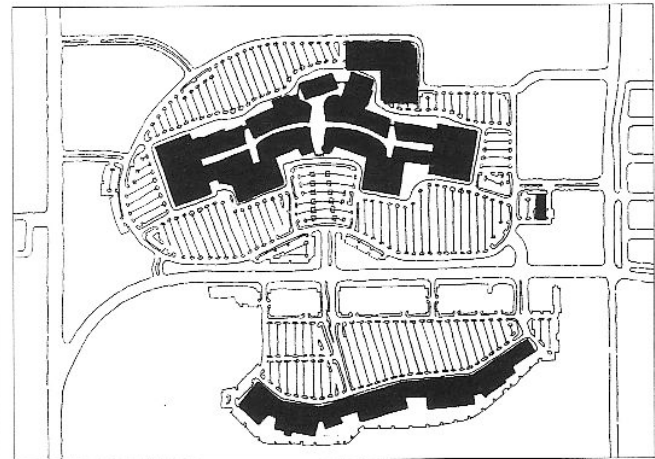
Before and After: Scrape and re-build
Duany Plater-Zyberk, Mashpee Commons - shopping center



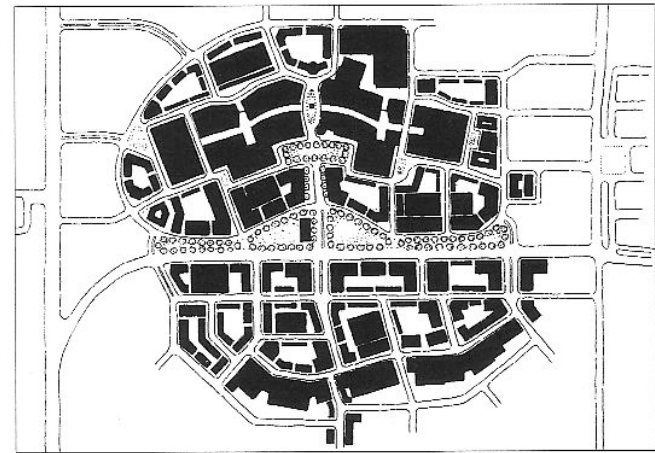


Conditions driving suburban retrofits

- Aging, out-of-date properties, often in first-ring suburbs
 - Fear of blight trumps NIMBYs and triggers public-private partnerships, TIFs, etc.
- Booming new agglomerations, often in Edge Cities, or “Edgeless Cities”
 - Concern over traffic and air quality, triggers TODs, transit, and market for more “intown” locations replacing “underperforming asphalt” with mixed-use
- Changing economic identity of the suburbs and desire for distinction
 - The “bedroom suburbs”, peripheral to the core city, have become economic engines in their own right
- Changing demographics and markets
 - Growing market for more urban housing types and places
- Smart Growth practices and policies
 - Especially, the arrival of transit and the need for affordable housing



A suburban mall, above, is transformed into an urban center, below, with new blocks, streets, and buildings, structured parking, and more connections to surrounding neighborhoods.



Winter Park Mall
 Dover Kohl & Partners with
 Glattig Jackson

Mall Retrofit Strategies

- Decide what to keep and scrape
- Connect neighboring streets through the site
- Line new Main street with trees and new buildings
- Establish secondary streets, blocks and **public** spaces
- Phase in structured parking and perimeter block buildings

North Hillsborough County
 Duany Plater-Zyberk & Co

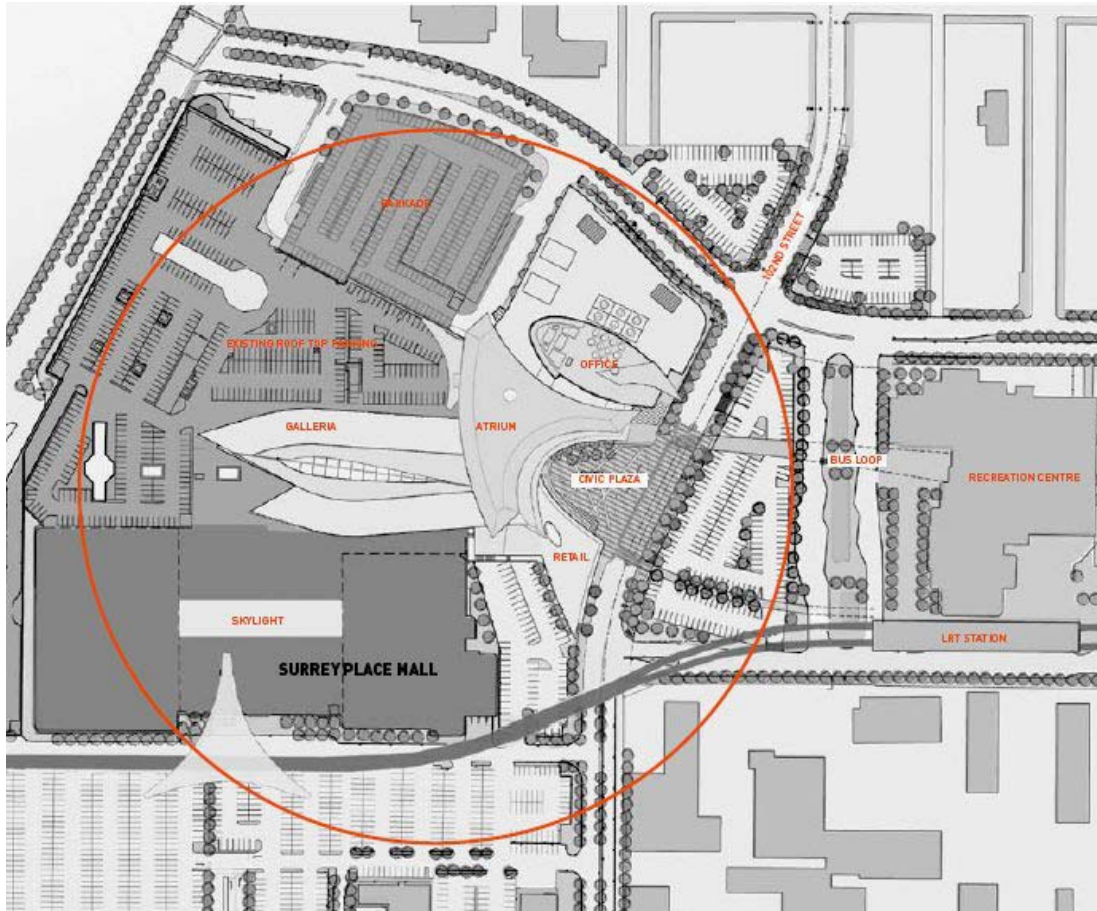


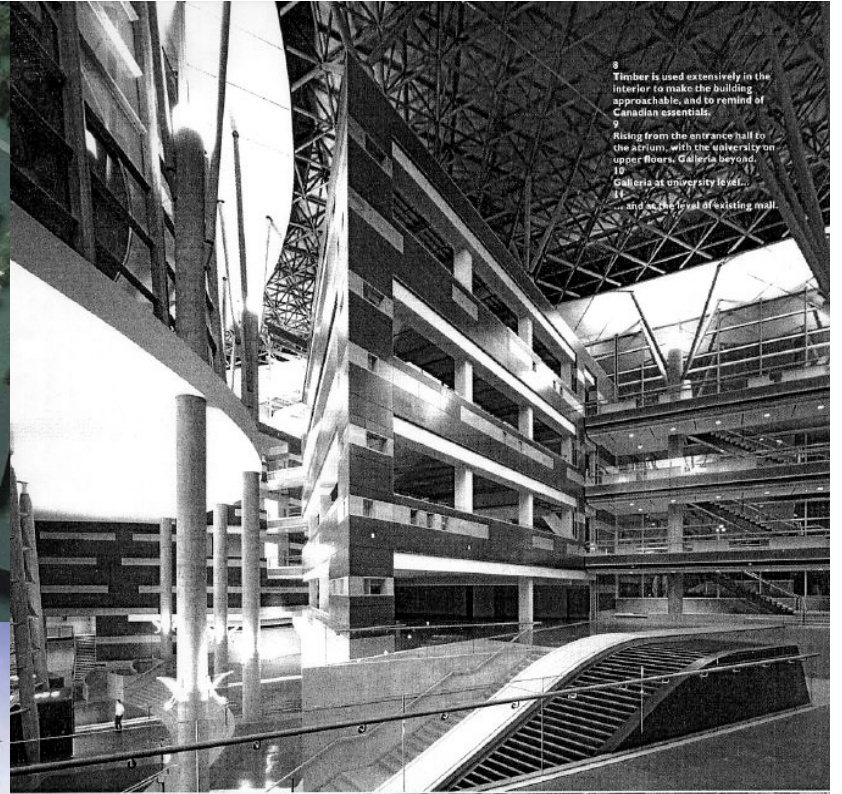
Belmar, Lakewood, CO *From dead mall to downtown*
Continuum Partners, Elkus Manfredi Architects, Van Meter Williams Pollack Architects

Surrey Central City, Surrey, (Vancouver) British, Columbia

*From dated mall to mall + university + office tower
focused on central plaza and atrium*

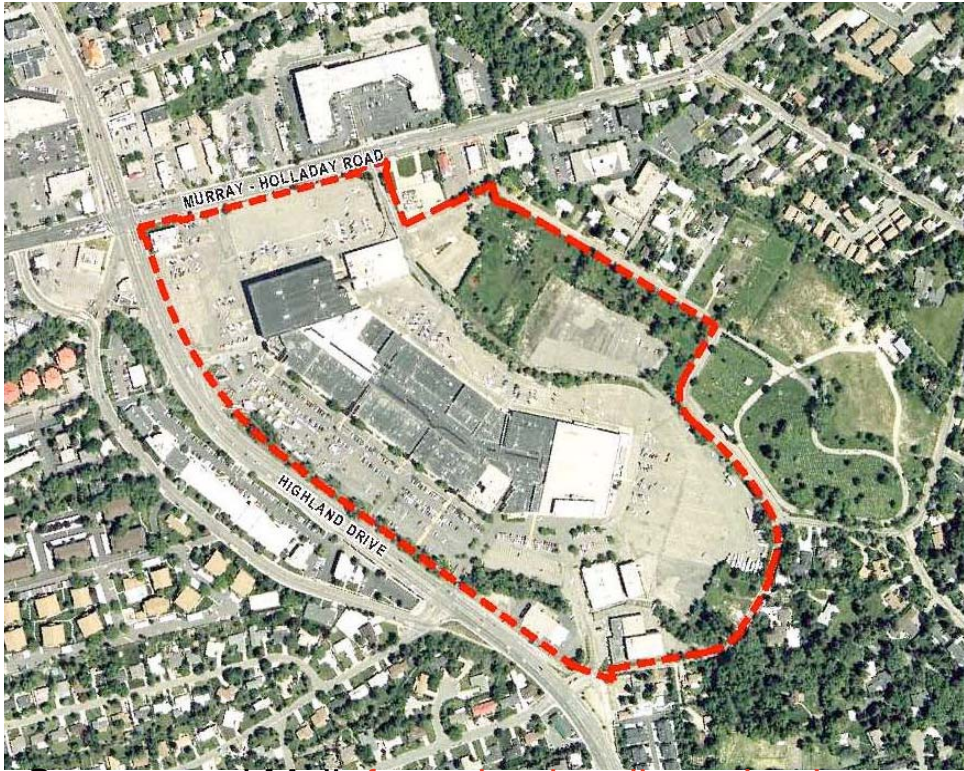
Bing Thom Architects, Inc



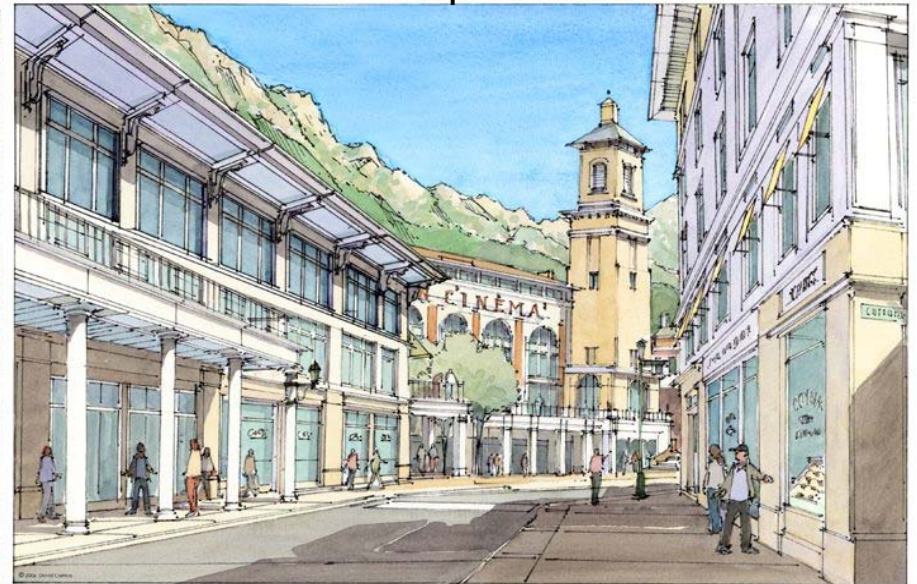


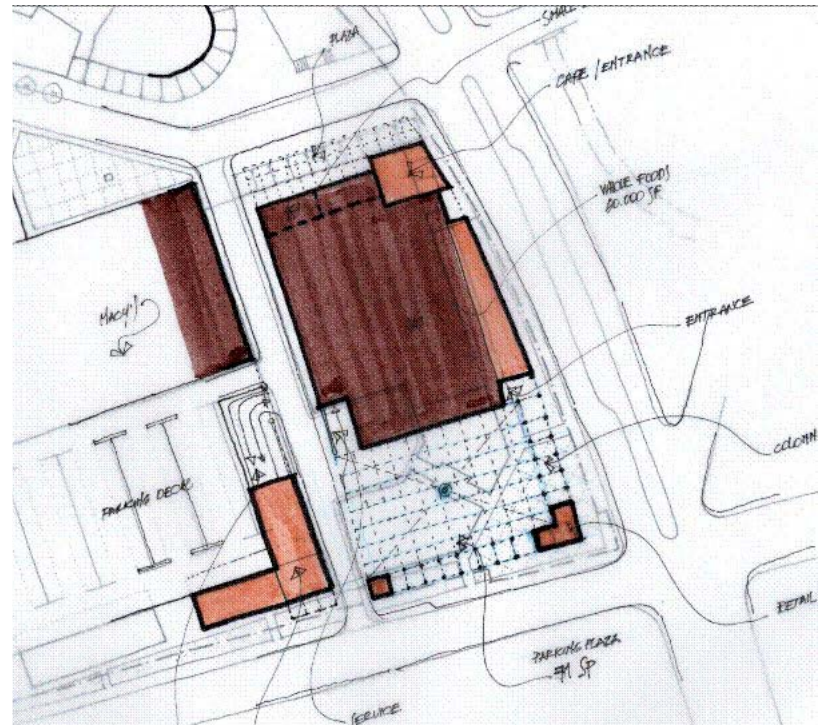
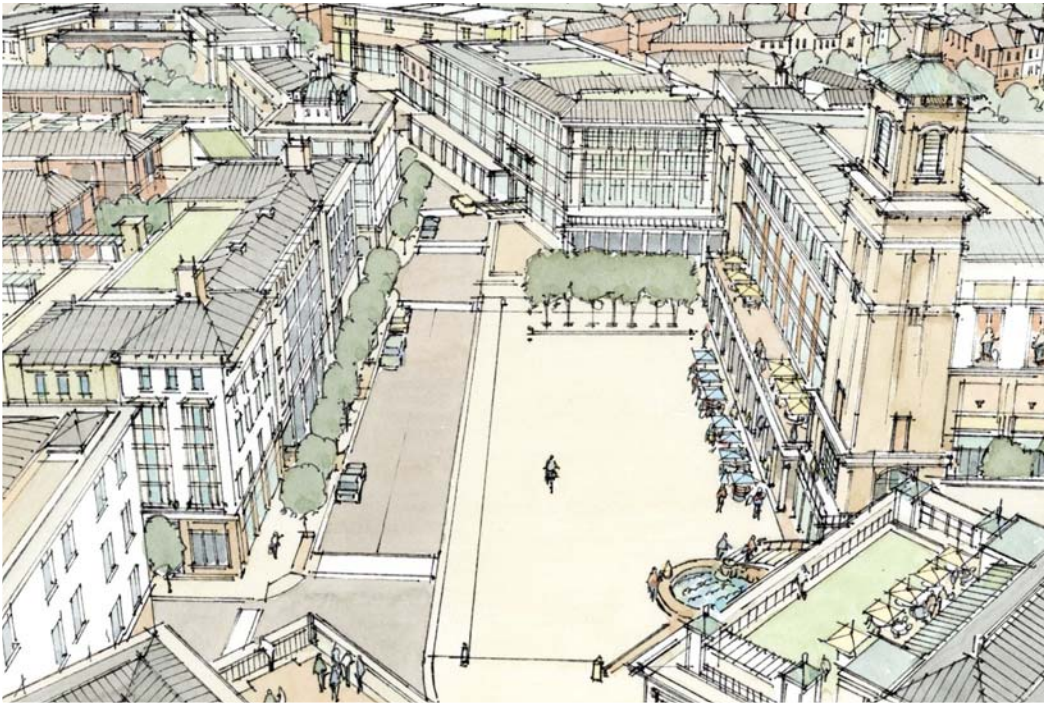
8
Timber is used extensively in the interior to make the building approachable, and to remind of Canadian essentials.
9
Rising from the entrance hall to the atrium, with the university on upper floors. Gallery beyond.
10
Galleries at university level.
11
and as the focal of existing mall.

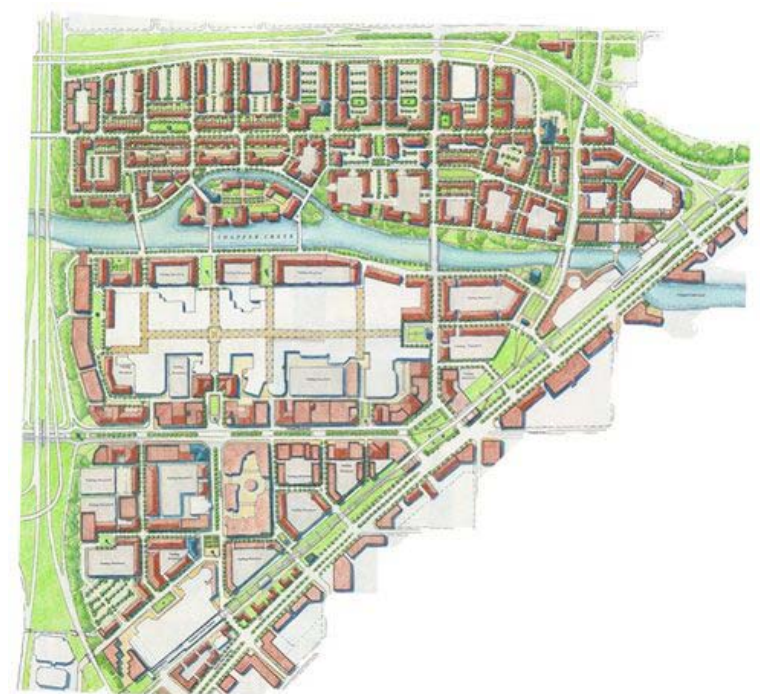




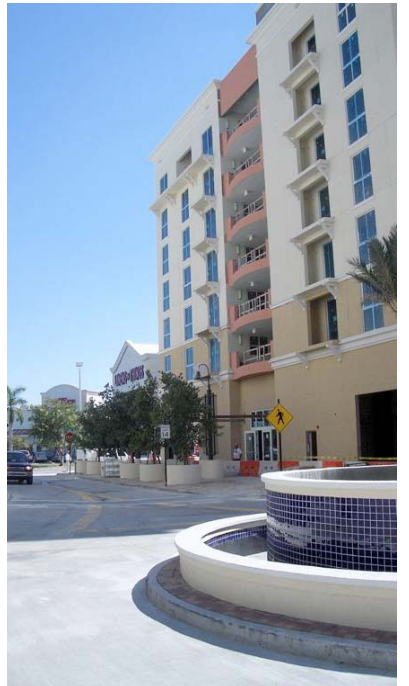
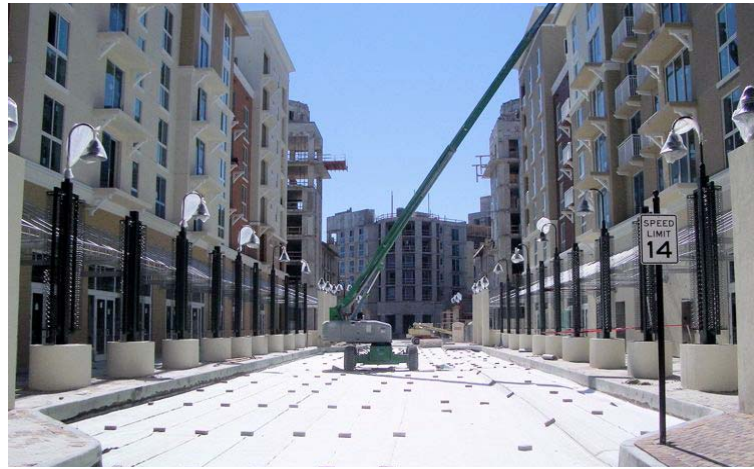
Cottonwood Mall, from dead mall to mixed-use neighborhood
Holladay, Utah: Duany Plater-Zyberk, RTKL, Sasaki for General Growth Properties







Downtown Kendall, Miami, FL
Dover, Kohl & Partners, Duany Plater-Zyberk & Company
From thriving mall and office park to downtown TOD





Addison Circle, Addison Texas, Post Properties, RTKL Architects *From edge city to downtown*

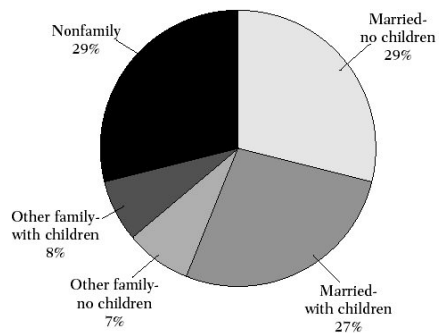


Legacy Town Center, Plano Texas, Post Properties, DPZ Architects, RTKL Architects *Town center in edge city*



Perimeter Place, Atlanta GA, Sembler Company *From edge city office bldgs to neighborhood center*

Figure 4: Household Type Shares in Suburbs, 2000, Metro Areas with Population Over 500,000



Demographic Drivers of Suburban Retrofits

Population growth

- U.S. population in 2050 is expected to be **half** again what it was in 2000
- By 2030, **half** of the buildings in the U.S. will have been built since 2000

Rise in single households (even and especially in the suburbs)

• Aging Population

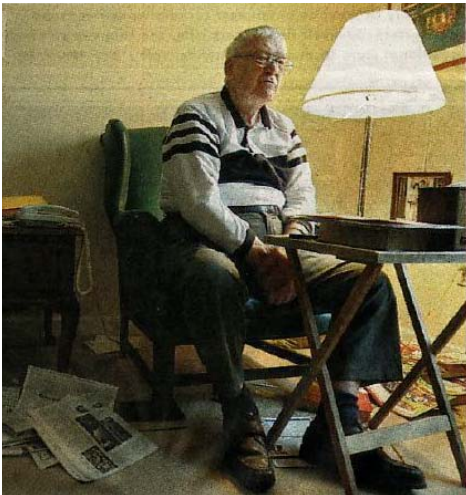
- The percentage of Americans over age 65 will **double** by 2050
- AARP reports that **71%** of older households want to live within walking distance of transit

• Echo-Boomers

- Almost as large as the baby boomers, they are just entering the housing market, and are the emergent “**creative class**”

Ethnic diversification of suburban households

- Racial minorities now make up more than a quarter of the suburban population, up from 19% in 1990
- In a 2004 survey conducted for Smart Growth America and the National Association of Realtors, African Americans were more than three times as likely to pick the “smart growth” community over the “sprawl” choice with larger lots (78% to 22%.) Hispanics chose the smart growth choice 57% of the time, while Caucasians were split 50/50



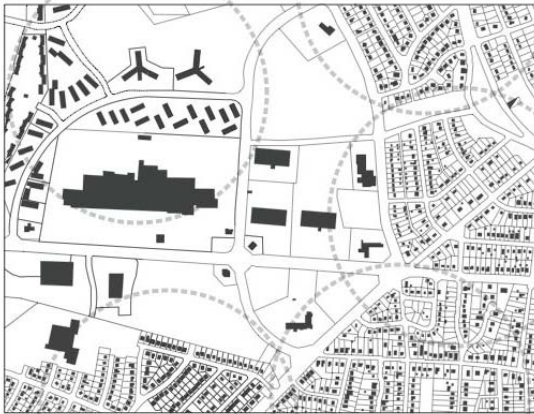


University Town Center,
 Hyattsville, MD
 Edward Durrell Stone, RTKL
From office park to mixed-use

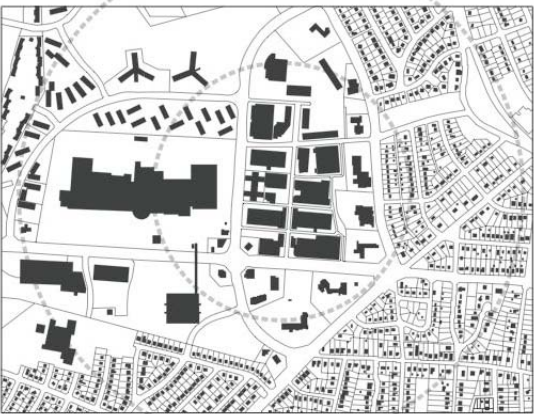




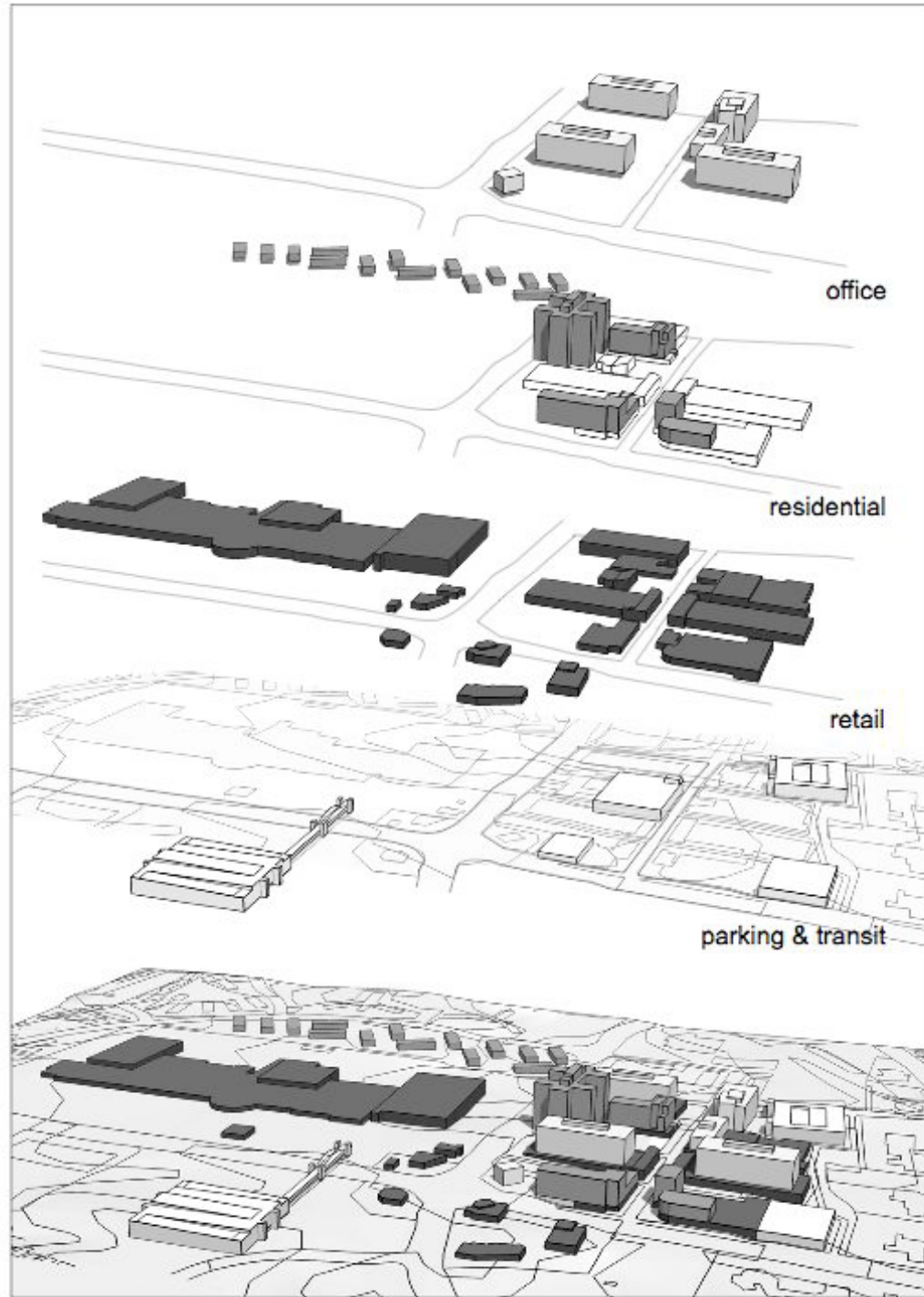
1940



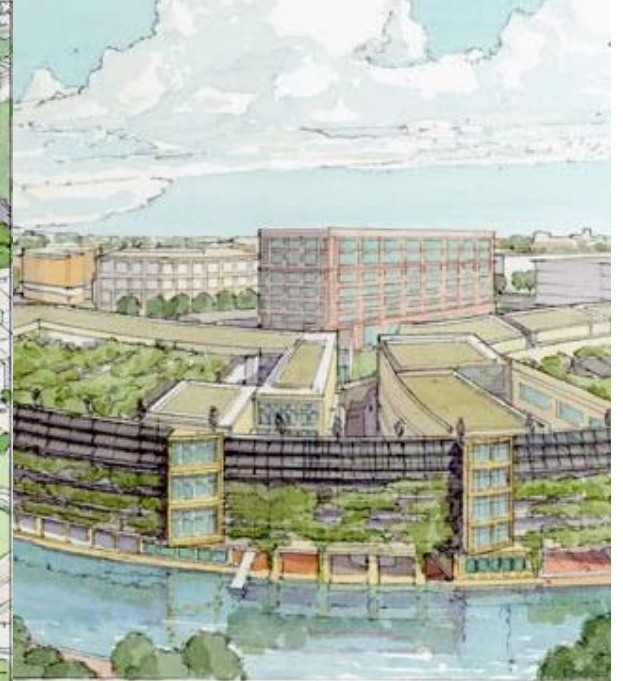
1975



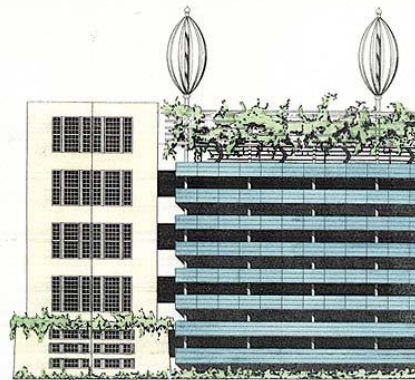
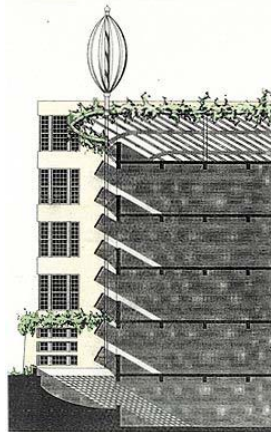
2020



“Upper Rock”, Rockville, MD, Duany Plater-Zyberk & Co, 2004
From office park to “green” 20-acre live-work neighborhood

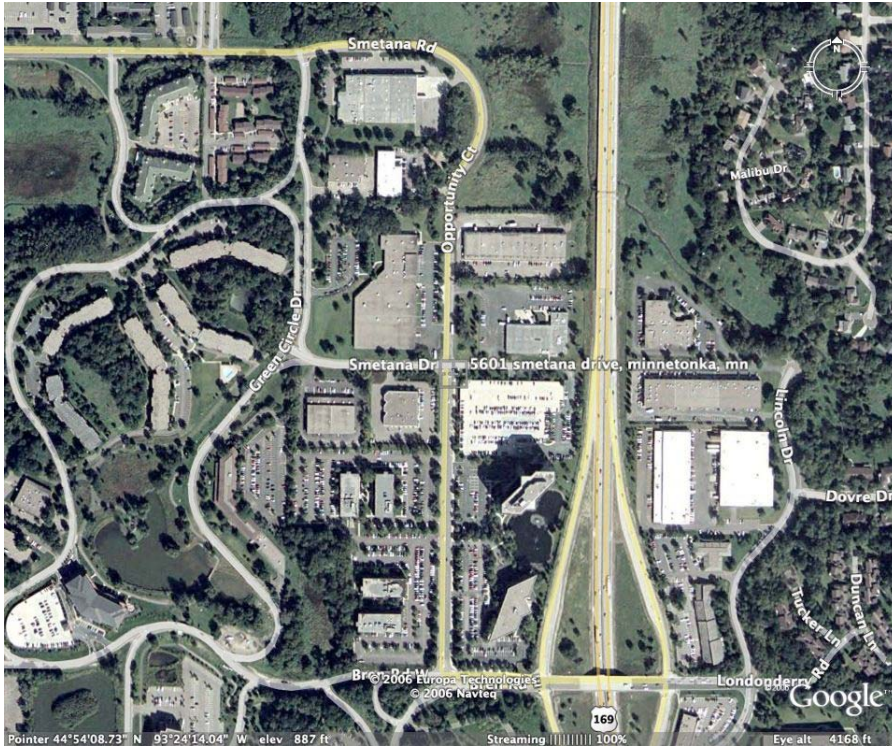


Upper Rock (before and after)



Cloud 9 Sky Flats, Minnetonka, MN; Julie Snow Architect, 2006
From suburban office building to stylish condos

cloud 9 **Cloud 9 Sky Flats**



Owner: JLT Group, Inc.

Location: Minnetonka, Minnesota

Project Description: Renovation of an existing commercial building into 164 condominium units. Project included new electrical service, lighting, fire alarm, security, voice/data network, satellite services and audio/video systems.

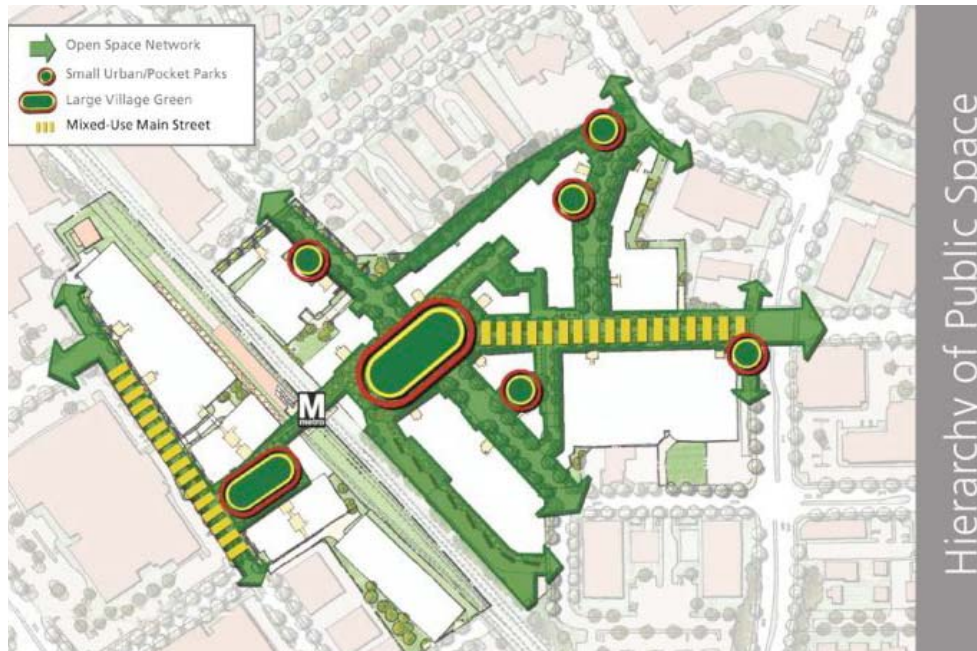




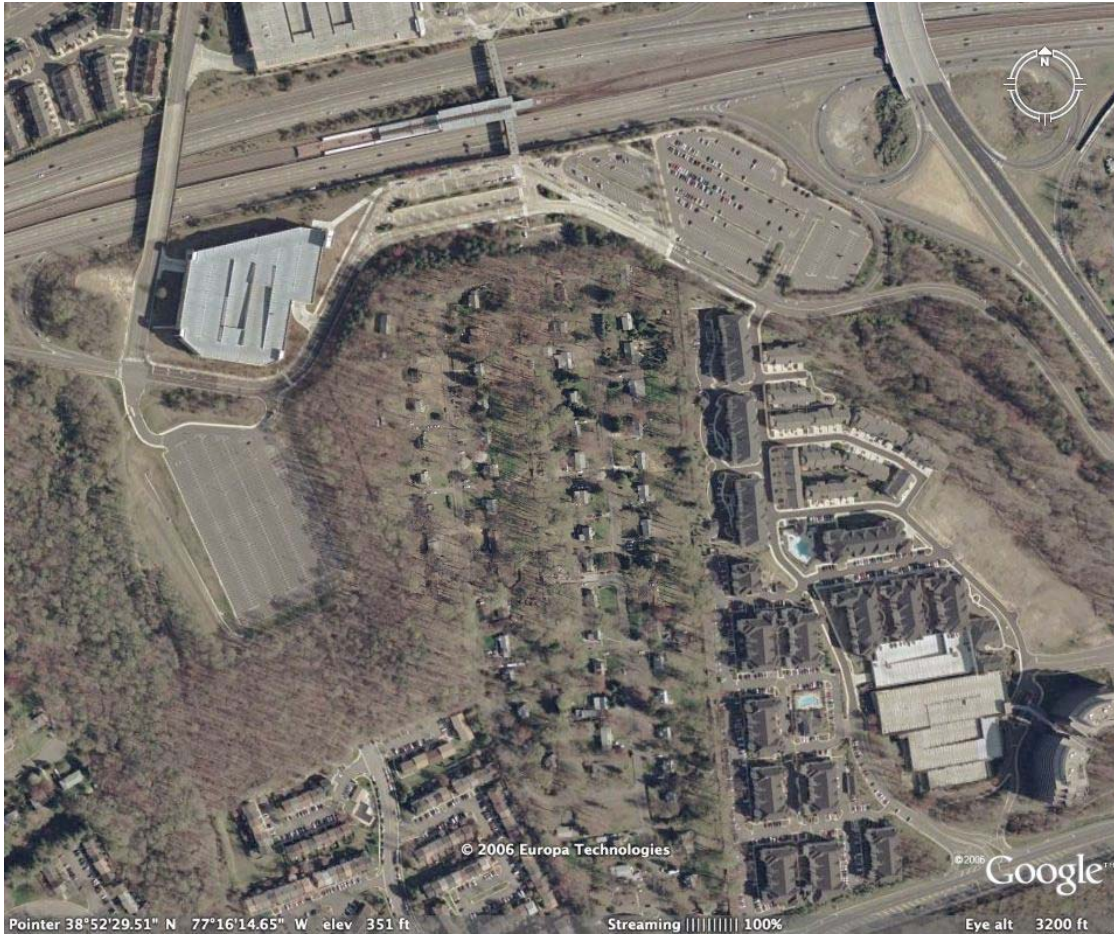
Westwood Station, Westwood, MA
Cabot, Cabot & Forbes - developers
Elkus-Manfredi Architects
From industrial park to TOD

Twinbrook Commons, Rockville, MD Torti Gallas CHK

From Park n' Ride to TOD







Metro West, Vienna, VA

Pulte Homes

From residential subdivision of 65 homes to TOD with 2500 residences



Gramercy, Carmel IN
Buckingham Companies
Looney Ricks Kiss Architects
Weaver Architecture

From Apartment Complex and Golf Course to mixed-use neighborhood



Windjammer Apartments, Atlanta GA

From swinging singles apartments to 3-bedroom apartments for new immigrants



Phoenix High School, Lawrenceville, GA
Lindsay Pope Brayfield Architects
From discount store to high school

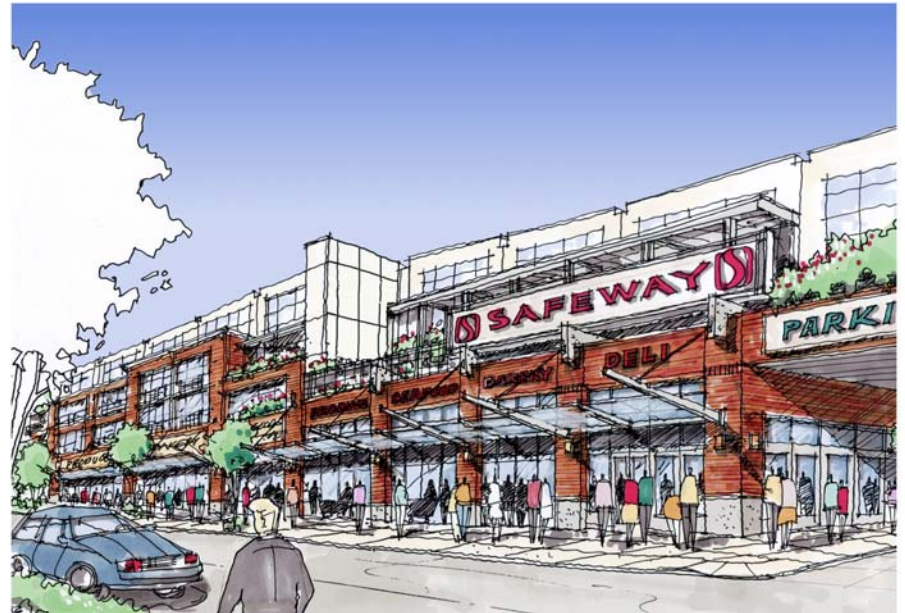


Camino Nueva Charter School, Los Angeles
Daly Genik Architects
From strip mall to elementary school

Tribeca Housing, Seattle, WA: The Sienna Architecture Company. *Selling roof rights to promote vertical mixed-use*

Tools at the Project Scale

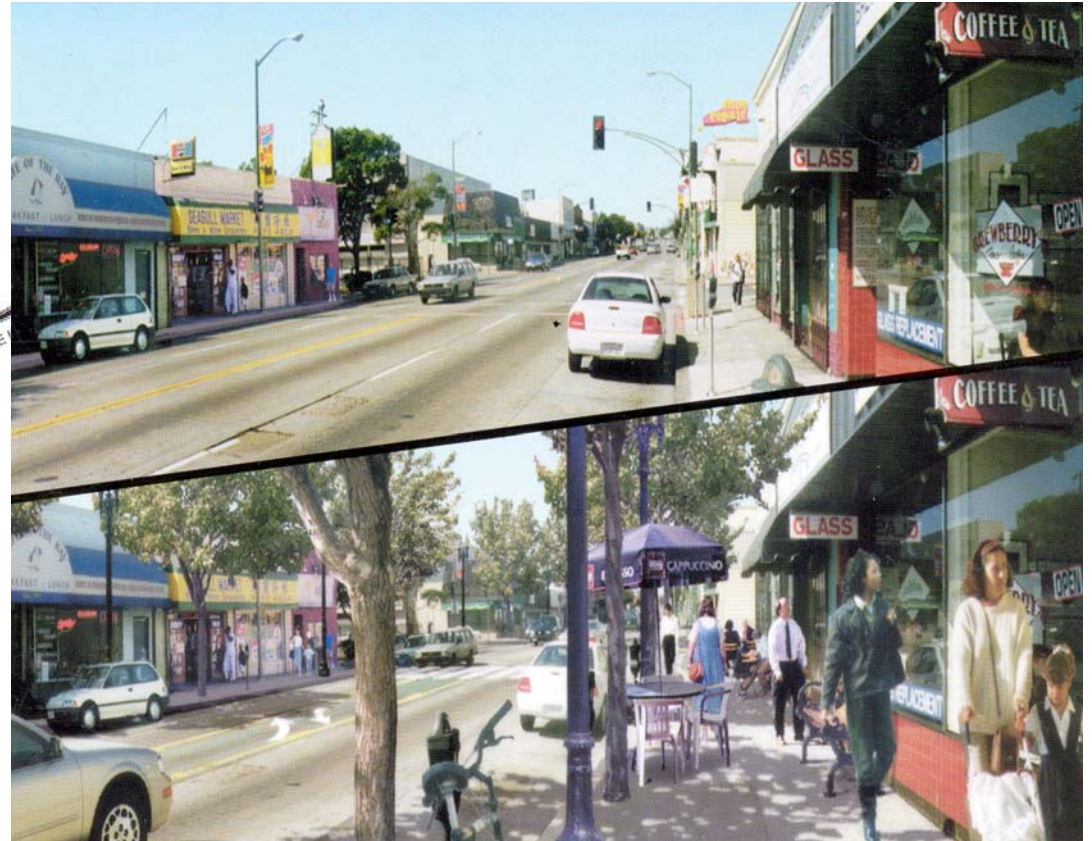
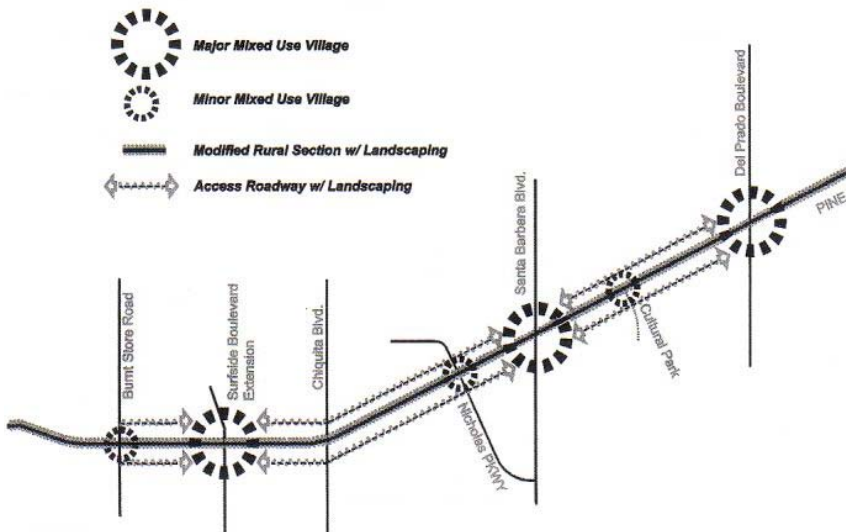
- public spaces, public realm
- liner buildings
- adding density to older under-parked sites
- selling roof rights
- re-zoning
- form-based codes
- Tax Increment Financing
- Location Efficient Mortgages
- Health Impact Assessment



CITIES & TOWNS MADE OF NEIGHBORHOODS
BALANCE RESOURCE NEEDS



THE CITY & SUBURBAN SPRAWL
COMPETE FOR RESOURCES



Mixed-Use Nodal Pulsing along Arterials

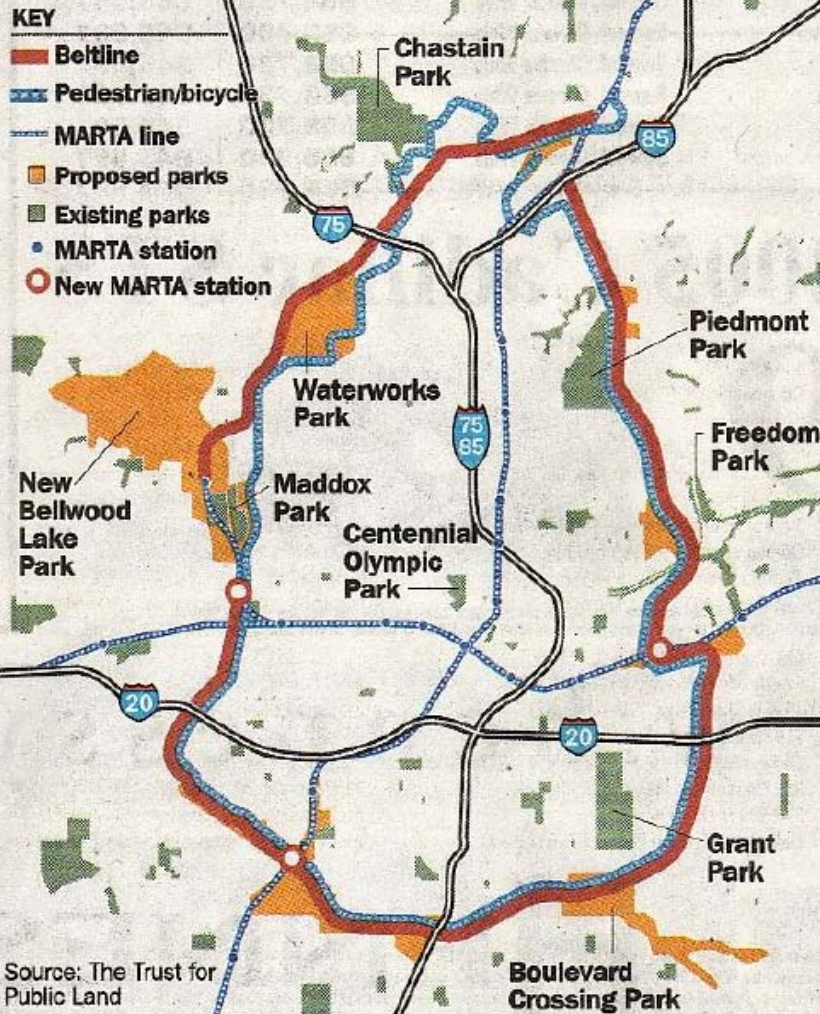
Pedestrian amenities to transform the street

Palm Canyon Drive, Cathedral City, CA; Freedman, Tung & Bottomley
From commercial strip to boulevard node



ATLANTA'S EMERALD NECKLACE

The proposed Beltline project would add 1,400 acres of parkland by expanding existing parks and creating others along the loop. Both rail transit and a bicycle/pedestrian path would circle the inner city, linking 46 historic neighborhoods.



JEROME THOMPSON / Staff

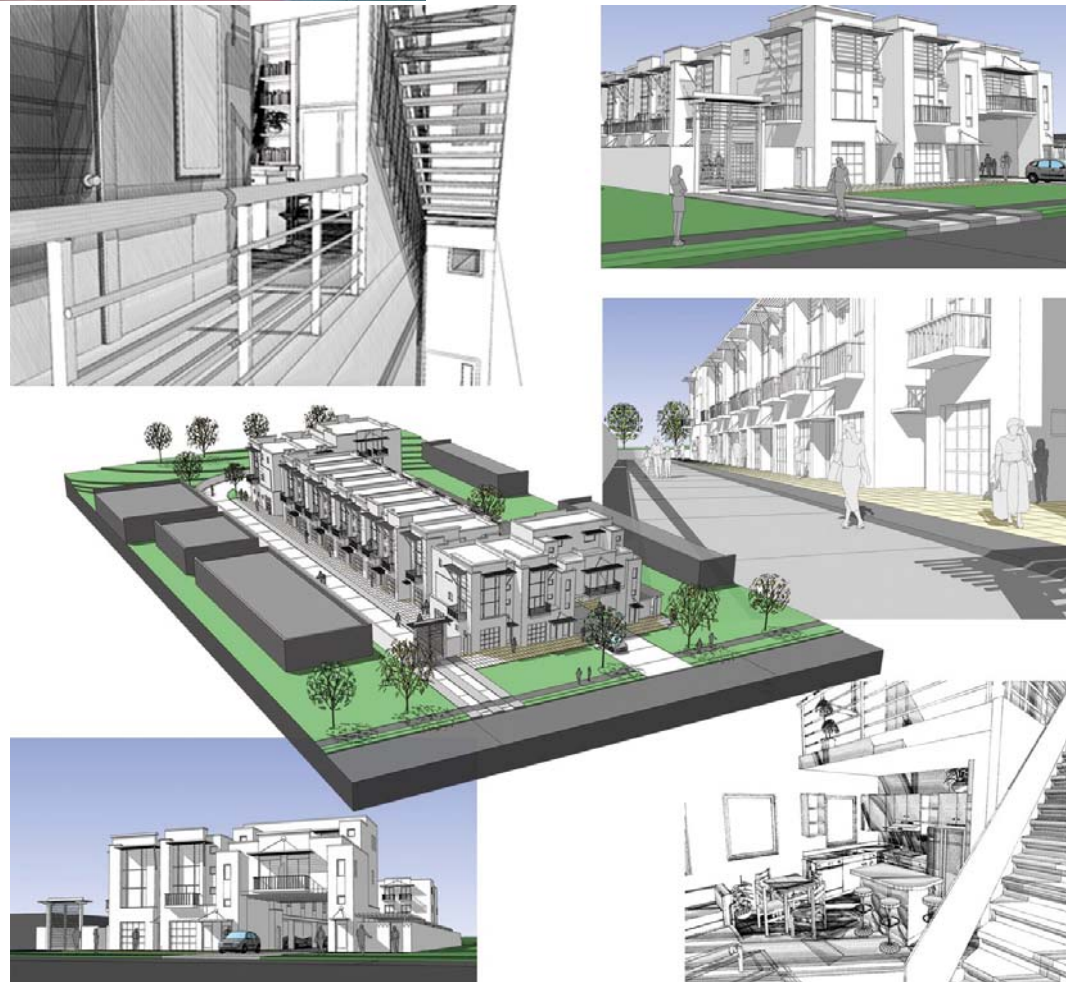


Boulder, Colorado

Projects resulting from shift from
Suburban Codes to Urban Codes



North Boulder Pre-development aerial view




Wiffleball Court, Los Angeles(documented by Roger Sherman)
Infilling the wedge of space between cul-de-sac houses with a communal wiffleball court

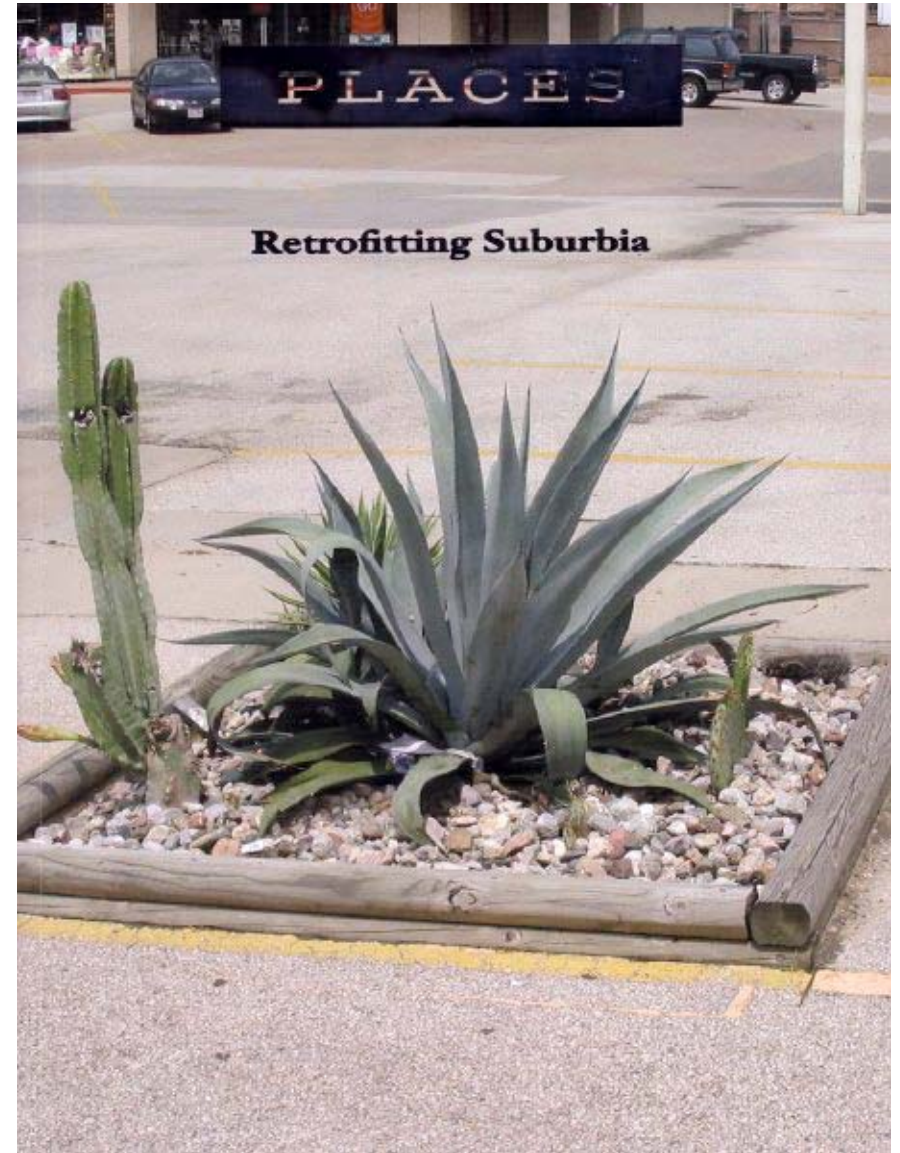
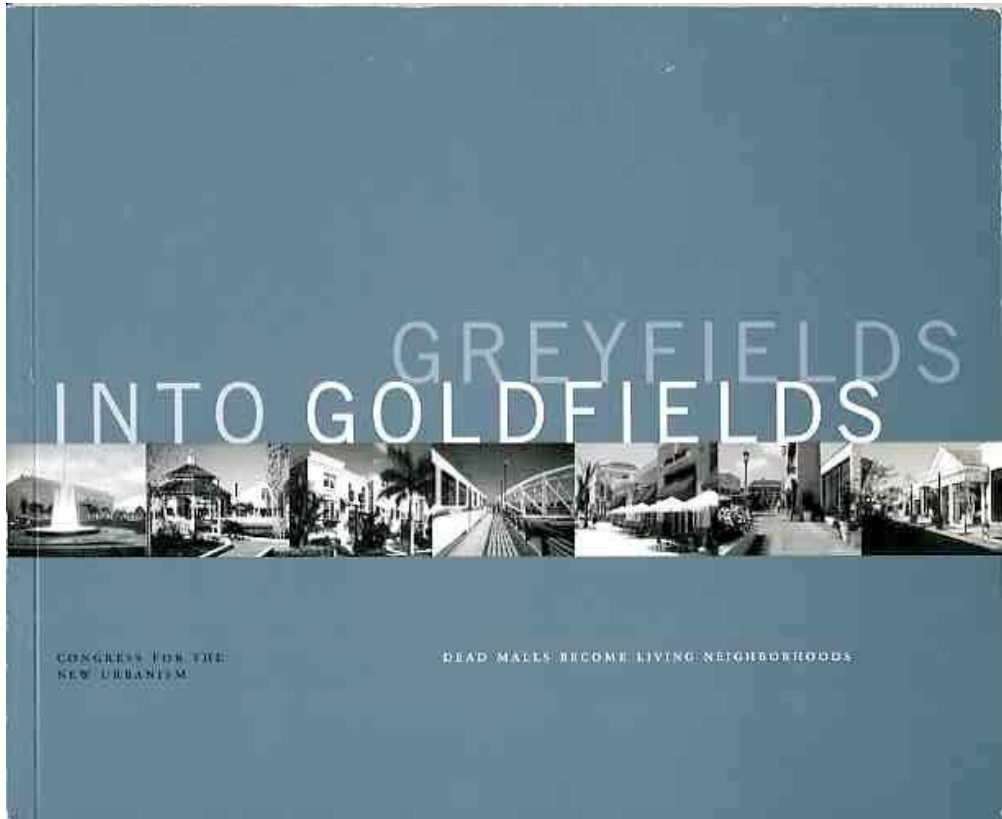








 NGA Center for
BEST PRACTICES



Recent publications on retrofitting suburbs

For more info go to www.cnu.org. The report, "From Malls to Main Streets" can be downloaded.