

URBAN MATRIX Page Key for Coordination of Urban and Building Types

SECTION B		URBAN SPATIAL TYPES										KEY				
SECTION C BUILDING TYPES	Churchyard and Cemetery	Control System	Town High Street	Village High Street	Market Railway Footpath	Sea Front Street	Town Residential	Recent Residential	Village Residential	Parks and Lawns	Green Lawns	Back Courts	Forepart Closets			
	1B	2B	3B	4B	5B	6B	7B	8B	9B	10B	11B	12B	13B			
Public Buildings	●															
1C		●														
Commercial Purpose Built		●														
2C			●													
Mixed Use Purpose Built		●	●		●											
3C				●												
Mixed use Modified		●		●			●									
4C																
Town Squares					●											
5C																
Blocks			●		●											
6C																
Villas																
7C																
Buildings with Verandahs																
8C																
Double Fronted Houses																
9C																
Rowing Houses																
10C																
11C																
Industrial																
12C																

A

10 PRINCIPLES FOR DEVELOPMENT

The Pattern Book will serve as a resource to guide new development according to the following ten principles:

A Public Consultation

Any development will involve through proactive public consultation and participation will contribute throughout in order to enable services.



B Master Plan

A Master Plan integrates a mix of public spaces, street layout and building types, based on public consultation will be created and approved by the community before Phase One is released for detailed design, planning and development.



C Sustainability

The Master Plan will address sustainability with broader aims and provide environmental, social and economic framework solutions.



D Local Identity

The development will reflect local identity. It will explore the spirit of the Newport's urban fabric, you see the shared town-ship. The road network will be the Newport Pattern Book to reflect the spirit of the Newport and its history. The Master Plan will ensure that these developments will regulate the development.



E Cornish Resources

The use of local resources will be preferred to ensure that local economy, cultural identity and meet sustainability objectives.



A



7

F Indigenous Needs

The primary purpose of the development is to meet the needs of the local community and address the needs of the local community and address the needs of the local community.



H Environmental Impact Assessment

The development will be subject to an Environmental Impact Assessment (EIA) to assess the potential impacts of the development on the environment and to propose measures to avoid, minimize or compensate for any adverse effects.



I Efficient Land Use

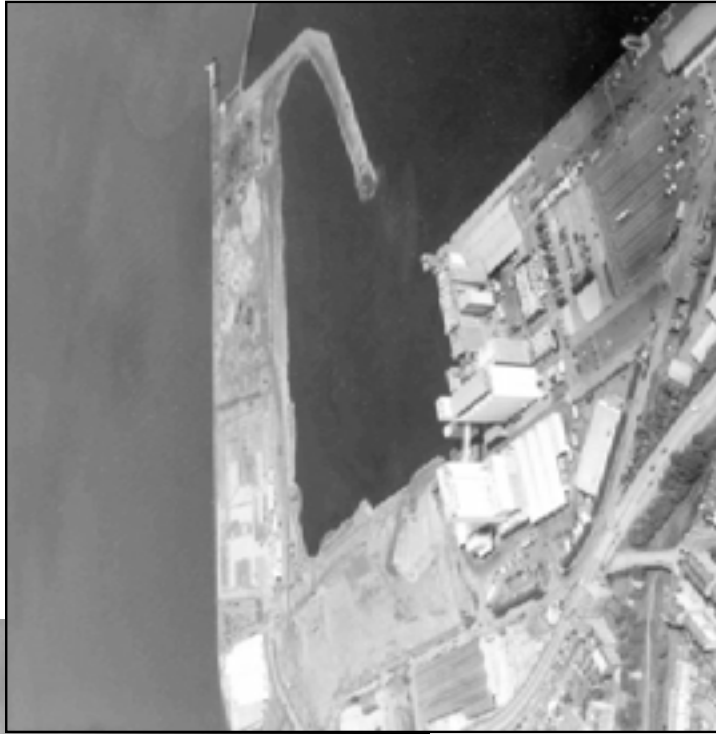
As a self-sufficient resource, land must be used efficiently. The development will be designed to maximize the use of land and to provide a mix of uses and building types to meet the needs of the community.



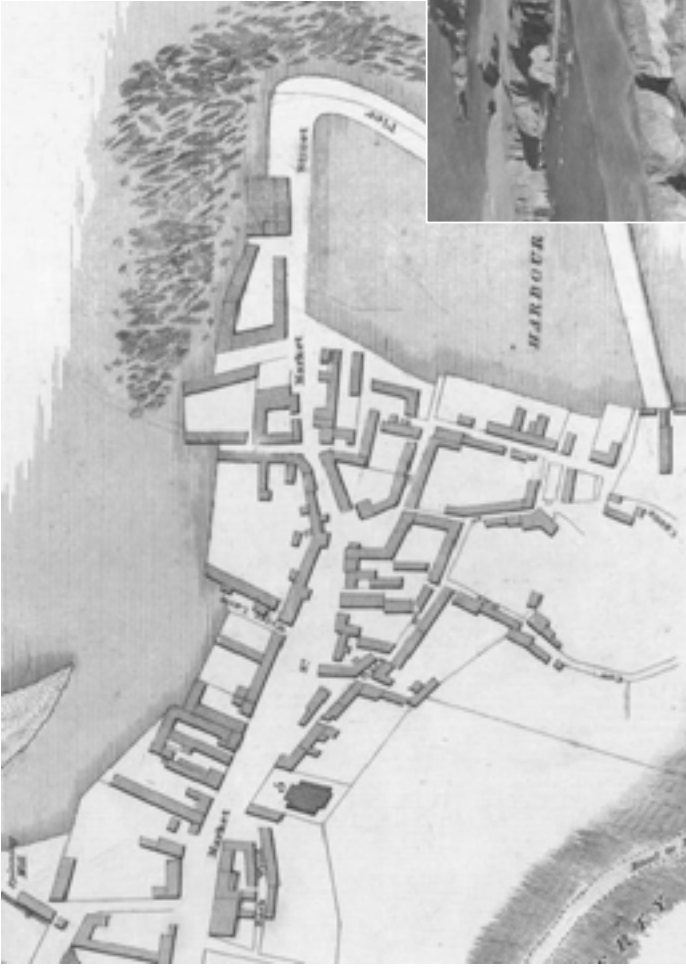
J Viability

The development will be financially viable and will provide a return on investment for the developer. The development will be designed to meet the needs of the community and to provide a mix of uses and building types to meet the needs of the community.











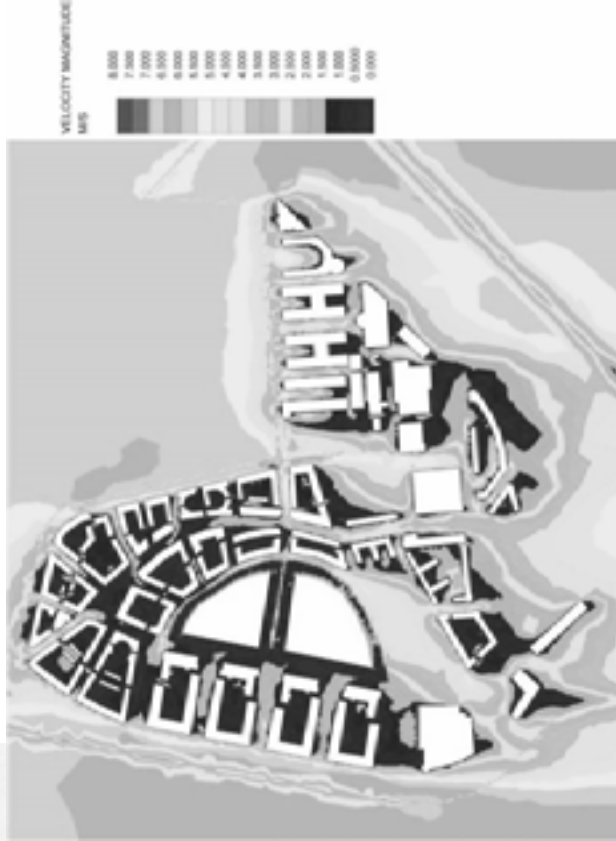
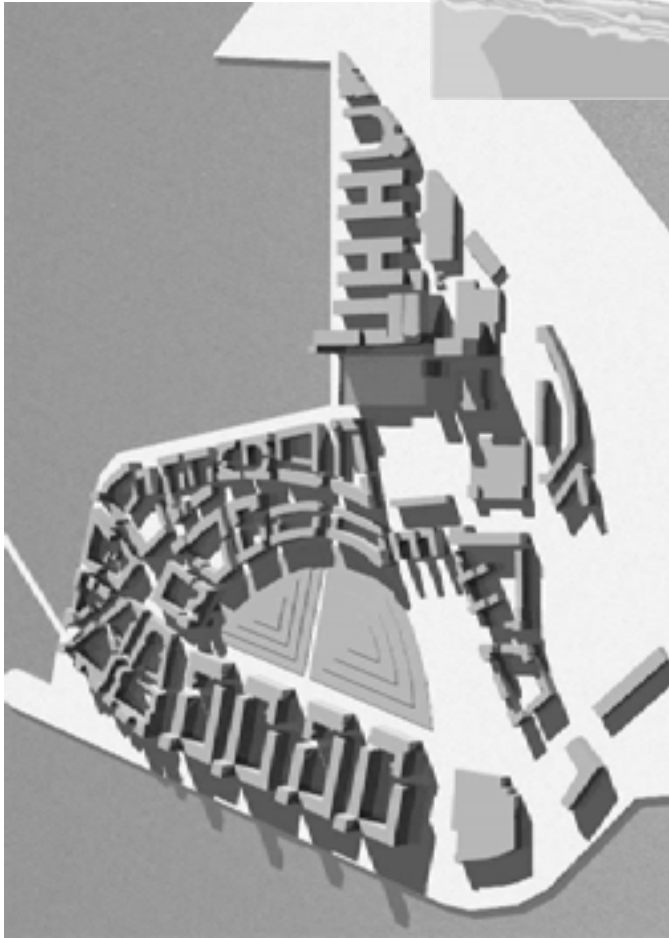
The Way Forward

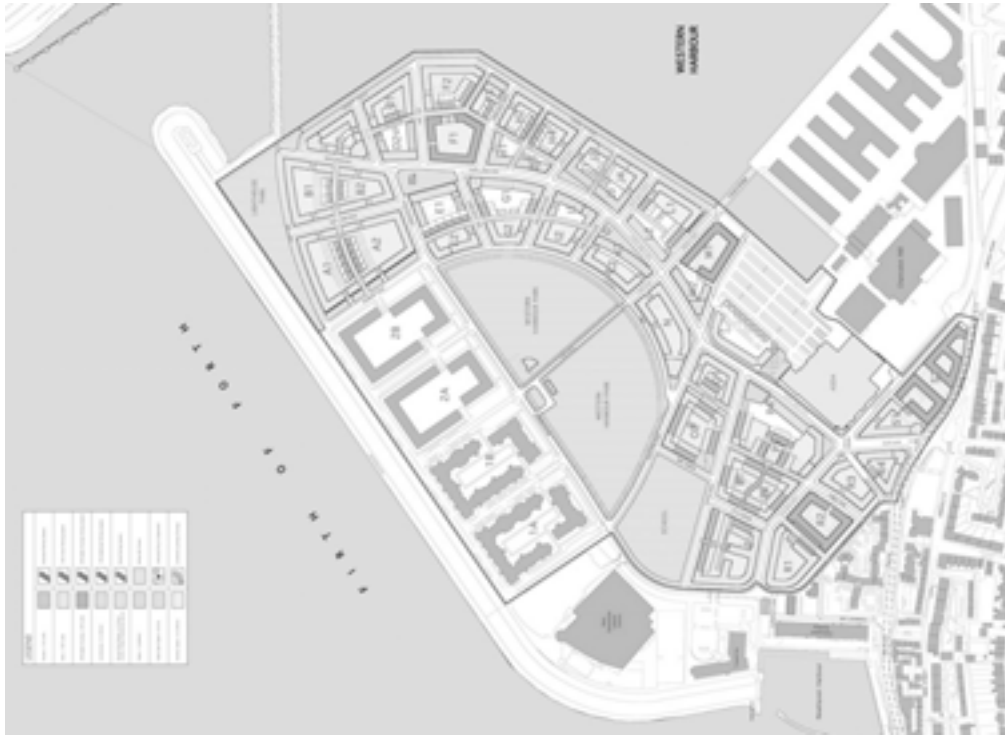
Leith Local Identity



Pattern Books In Britain











BLOCK B - LOCAL IDENTITY

DRAFT ISSUE

North Square



Key Open Spaces

DRAFT ISSUE

North Square

FIGURE 4.10 ARCHITECTURAL FORMS OF NORTH SQUARE



WESTMINSTER HOUSE, LONDON



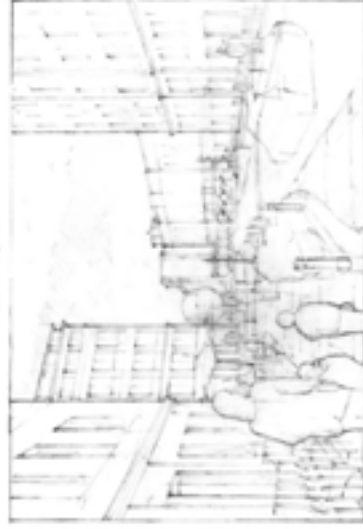
ST. ANDREW'S CHURCH, LONDON



PROPOSED NORTH SQUARE



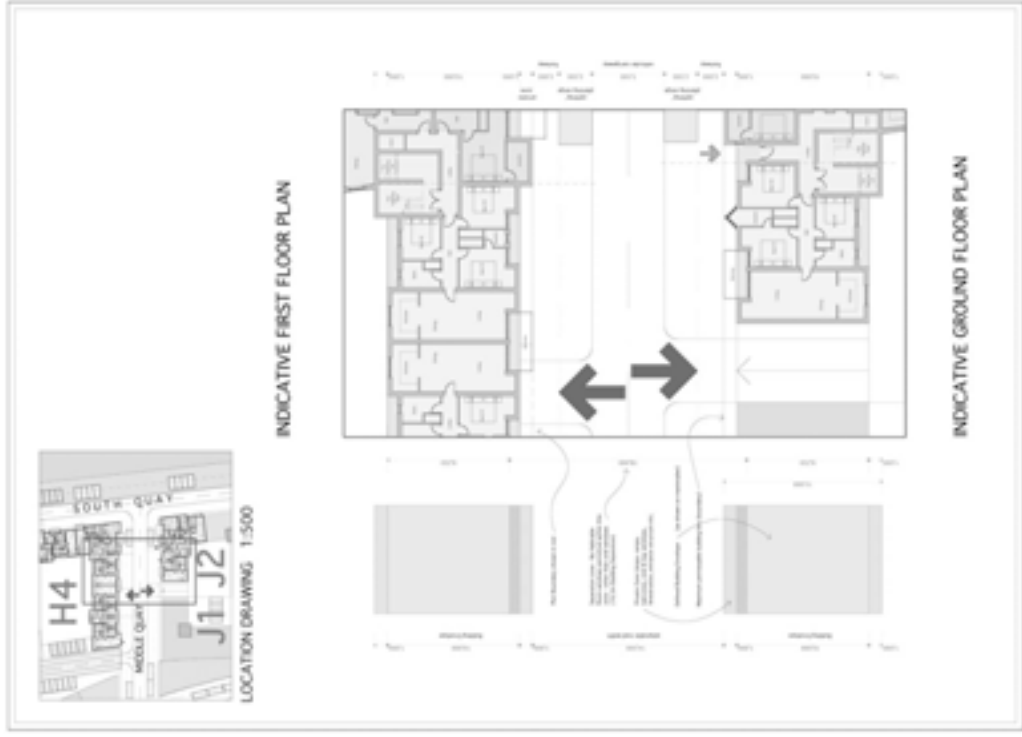
WESTMINSTER PALACE



North Square from Lightfoot Road

WESTMINSTER HOUSE
MATERIAL PLAN
Key Open Spaces





Northern Area

North Quay, between Quay Place and Lightness Place
Part Blocks C, D & F

Site: Predominantly residential, some ground floor commercial (as possible) Commercially viable.

Character: Residential water's edge with varied building parts of which some to the edge of each plot. Sufficient width to establish free local (appropriate) external streets of spaces.

Movement and Street Character: Vehicular and pedestrian use both for movement and as a destination. Speed Limit: 20mph. Design Speed: 20mph. Tree belt on quayside and hard landscaping with opportunities for pedestrian recreational use. Soft landscaping possible in relation to and within carriage of individual buildings. High permeability and a wide adaptable area with and an street parking incorporated. Adjacent quay edge (dividing with cycle path).

Building Characteristics: Varied buildings with variety of elevations both to edge of plot. Limited variety of height between 3 and 8 floors. Architectural and probably corresponding functional articulation of regular intervals between 3 and 8 metres. Large volume openings possible in vertical format set within masonry gables. Balconies possible above first floor building set backs, resulting and articulation possible within plots. Varied rooflines. Some landscape on street edge connected with buildings possible.

Building Materials: Stone, brick, facing with stone dressings, timber and significant areas of glass of panes. No more than one row of them on any one plot. Stone, granite, copper or lead roofing.

Landmark Building: N, significant building with stone walls and slender tower profile built up to edge of plot, up to four storeys higher than adjacent buildings to create a landmark element from the point and the water. Distinctive gables.



Character Description

Northern Area

Park Crescent, between Newmarket Road and South Park Road
Part Blocks E, G, I, K & N

Site: Residential

Character: Traditional residential crescent facing park. Outward facing with a strongly unified character and a continuous curving facade. External spaces are all subordinate to the park.

Movement and Street Character: Character given by proximity of park. Pedestrian and vehicular street with cycling on park side. Some need or less with street level parking on building side and end-on on park side. Edge treatment on park side to enhance activity and permeability in park. Parking strategy creating points and walls to enhance traffic calming. Speed Limit: 20mph. Design Speed: 20 - 25mph.

Building Characteristics: A variety of forms, variety of external design, some variety of treatment possible, in particular at road junctions and landmark buildings (see below) but there will be a strong uniformity of type and some symmetry on either side of street crossings. Buildings will be 4 stories high with a strong screen detail within a range of 0.20m and a prominent base line at second floor level addressing a change of elevation detail. Variety of formal materials and articulated verticality. Balconies, loggias and canopies can be used but within strict limits of type. Buildings set 2 metres back from the plot edge in all cases - the maximum extent of the required road for maintenance.

Building Materials: Stone of ground and first floor level, stone or facing with some dressings on the second floor and above. Like roof.

Landmark Buildings: E and I, possible increase of height and detail (city as development) of architectural treatment on Park Crescent with some symmetry between buildings. F at end of park, will set a landmark of some parks and of context, an important corner building that marks the division between the crescent and the more enclosed layout to the south and makes the distinction between the small southern park and the large central park and their differing characters, up to 8 storeys.



Character Description

Southern Area

School Road, between Newham Road North and High Street South
Part Blocks G, P, O & Q



Uses
Residential and educational.

Character
Secondary residential street with tenets of individual family houses and apartments at east end. All housing on north side only facing School and South Green. Opportunities for tree planting on south side. Tree planting along Southern edge of South Green.

Measurement and Street Character
Residential secondary road facing park. Mixed pedestrian and vehicular use separated by conventional pavements. Double set down area for school. Width reduced and higher buildings at east end to provide local transit to outdoor park area and create urban area. Street lighting 25 m high, along speed 20 mph, some on center parking.

Building Characteristics
Three to four story terraced houses with small front gardens. Some apartment buildings at 3 stories. Terraced house divisions and divisions between apartment buildings to be expressed architecturally. Street elevations on consistent building line with possible balconies. Four story houses to have consistent mass line to within 100m, fourth floor in attic floor. Front doors onto street side. Gardens on street to be enclosed with railings. Some commercial and apartment accommodation at rear end with sample elevations facing back of pavement with white balconies. Height at east end between four and six stories.

Building Materials
Stones, facing, facing with more dressings, slate pitched roofs.

Landmark Buildings
None.



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Character Description 27

Southern Area

Rock Street, between School Road and Ocean Drive West
Part Block P



Uses
Residential.

Character
Secondary street facing major streets, quiet and informal. Change in strategic connections between School Road and Ocean Drive West.

Measurement and Street Character
As above, conventional street and pavement as narrow as possible to give hierarchy to principal streets, some opportunity for limited parking and on-street parking. An important pedestrian route. Speed limit 20 mph, orange speed 10 mph.

Building Characteristics
Five story ends of terraced and apartments in School Road and Ocean Drive West. Four story terraced houses and four story end of terraced and four story end of terraced. Height at east end of terrace maximum four stories intensity.

Building Materials
Stones, facing, brick, terrace or significant areas of glass. Slate panels, copper, lead or other long life roofing to street housing.

Landmark Buildings
None.



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Character Description 25

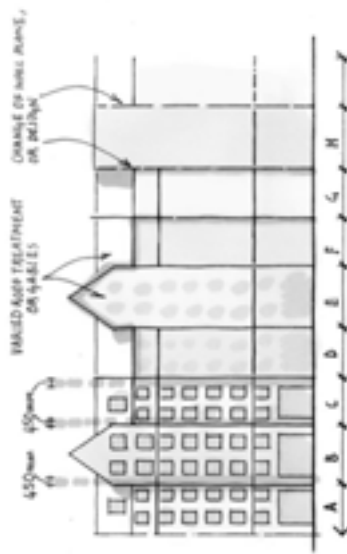
1.3 Organisation of facades - Definitions

Face Plate

A distinct and clearly expressed vertical division between panels or parts of panels.

- Each face plate must have a minimum of 4 times continuous solid wall above it except adjacent panels and articulations of roof treatment or gables.

- The vertical division between panels must be made explicit by clear articulation of:
 - materials between panels,
 - change of wall plane of full plate walls of more than 250mm,
 - distinct continuous vertical articulation of more than 250mm,
 - change of height.



1.3 Organisation of facades - Definitions

Shelf Profiles

An elevation that rises out of its base plane on a slight plane for its full height.

- The predominant walling material must rise vertically uninterrupted for the full height of the wall plane above a base line on at least 35% of the total width of the wall.
- Projections, such as balconies or porches, must not be wider than 30% of the horizontal wall plane from which they project.
- Shelf lines, screen cornices, coves, lines and mouldings may project as far as screens or balconies are concerned.
- There will be no other projecting features except mouldings, setbacks or decorations to a maximum depth of 250mm.



54% UNINTERRUPTED VERTICAL WALL



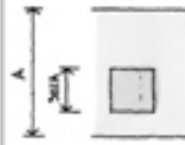
50% UNINTERRUPTED VERTICAL WALL



35% UNINTEERRUPTED VERTICAL WALL



50% WINDOW-WALL



40% WINDOW-WALL



50% WINDOW-WALL



BLOCK A

2.3 Elevational Organisation - Plot A1

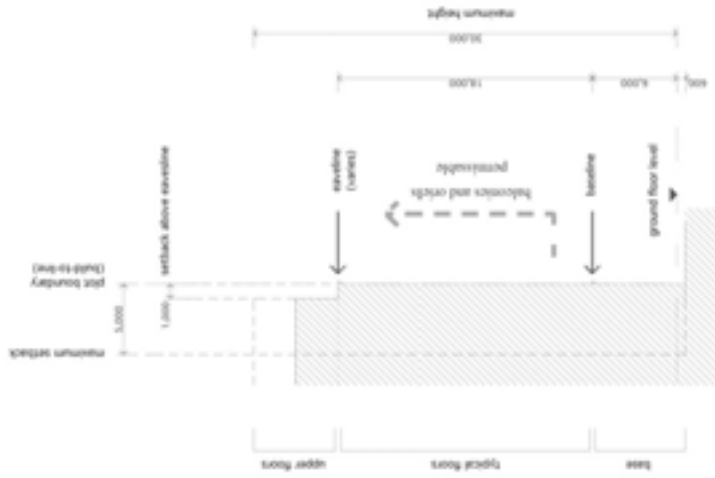


Elevations Fronting onto Lighthouse Park

A section of the facade onto Firth View, and Boundary Road, South Park Road or Lighthouse Road. The section of facade onto each road will be no less than two bays wide in either direction. The elevation will have clear walls but may have arches or balconies on the third floor and above serving single floors or in groups serving multiple floors. Two bays together will be served by one bay or two bays will be served by one bay with some details on the floors. The window to wall ratio will be no more than 50%. The roof profile must have a distinctive pitched, gabled or hipped silhouette. Roof materials will be slate or pantile. Above the mean eaves or parapet line of the intervening facade large windows may be used.

BLOCK A

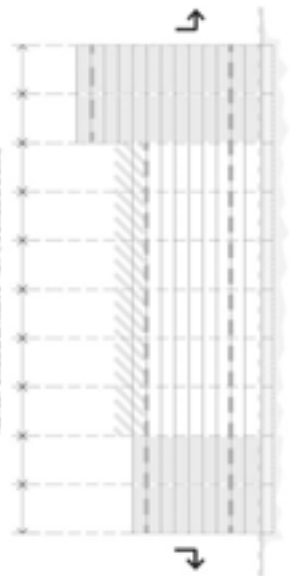
2.3 Elevational Organisation - Plot A1



Section B1 - North Elevation - Plot A1 1:250

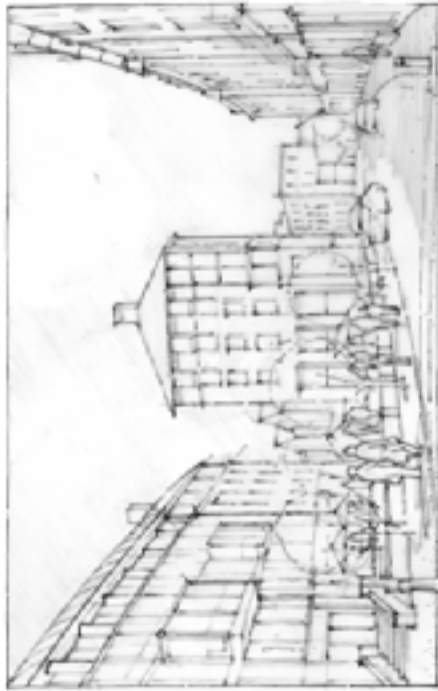


SECTION B1 - NORTH ELEVATION - PLOT A1 (SERVED FACADE) 1:1750

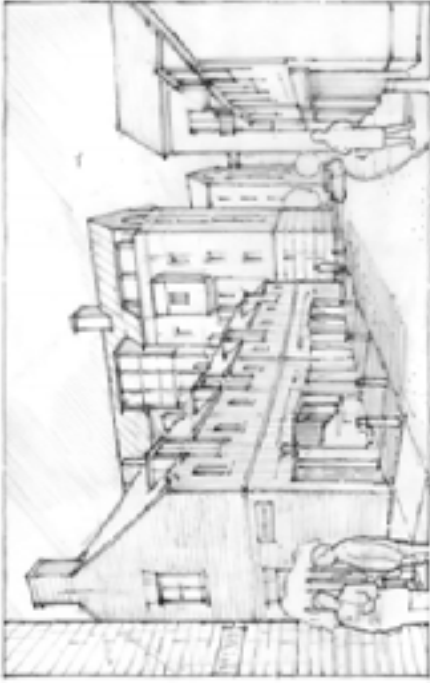


Elevation B1 - North Elevation - Plot A1 (served facade) 1:1750

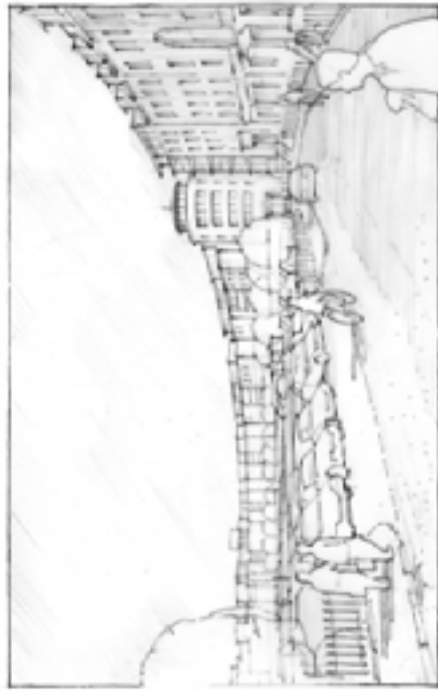




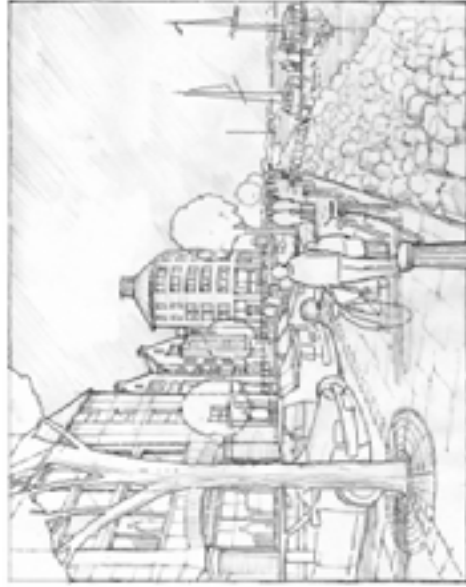
Commercial Square off Bond Street



Typical view along Bond Street



View across Central Park



View along Parkside